

**\*\*VIRTUAL MEETING PARTICIPATION OPTIONS\*\*****Web Access:**

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**Telephone Access:**

Phone Number: (408) 418-9388

Meeting Number: 126 909 3174

Password: 1900

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – May 17, 2022 meeting.
5. Public input pertaining to agenda items not included in a Public Hearing.
6. **Public Hearing #1** – Special Exception Permit (SE-10-22) requested by Miller Electric Manufacturing, LLC, 3450 W. Spencer Street, for operation of a business that includes light manufacturing use on a property zoned CL Local Commercial District. **Action:** Hear testimony/close hearing.
7. **Special Exception (SE-10-22)** – Request by Miller Electric Manufacturing, LLC, 3450 W. Spencer Street, for operation of a business that includes light manufacturing use on a property zoned CL Local Commercial District. **Action:** Recommend approval/denial of SE-10-22. (TOWN BOARD ACTION 6/21/2022)
8. **Site Plan Amendment (SPA2-00-12)** – Request by College Centre, LLC on behalf of Miller Electric Manufacturing, LLC, 3450 W. Spencer Street, for construction of a loading dock and additional site improvements. **Action:** Approve/deny SPA2-00-12.
9. **Site Plan (SP-09-22)** – Request by Bergstrom Genesis of Appleton, 2900 N. Victory Lane, for construction of an automobile dealership and associated site improvements. **Action:** Approve/deny SP-09-22.
10. Adjournment.

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**Public Notice:** Agendas are posted in the following locations: Town Hall bulletin boards & Town website [www.grandchute.net](http://www.grandchute.net) 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

**Notice of Possible Quorum:** A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

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# GRAND CHUTE PLAN COMMISSION MINUTES

May 17, 2022

Members Present: Chair Brad Gehring, Commissioners Ron Wolff, Julie Hidde, Pam Crosby, Cheryl Ulrich and Mark Heling. Members Absent: Commissioner John Weber.

Also Present: Katie Schwartz, Public Works Director; James March, Town Administrator; Brent Braun, IT Director; Michael Patza, Community Development Director; Lindsey Kemnitz, Town Planner; Tracy Olejniczak, Administrative Assistant; other interested parties, audience= 6, sign-in sheet= 6.

1. **ROLL CALL**

Chairman Gehring opened the meeting at 6:00 p.m. and roll call was taken.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

**Motion (Heling/Crosby) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – MAY 3, 2022 MEETING.

**Motion (Hidde/Ulrich) to approve the May 3, 2022 Plan Commission minutes.** Motion carried, all voting aye.

5. PUBLIC INPUT. There was no public input.

6. **PUBLIC HEARING #1** – SPECIAL EXCEPTION PERMIT (SE-07-22) REQUESTED BY TOTAL PACKAGE DETAILING SERVICE, LLC, 2145 W. PERSHING STREET, SUITES 112 & 114, FOR OPERATION OF AN AUTOMOBILE DETAILING BUSINESS.

Chairman Gehring opened Public Hearing #1 at 6:03 p.m.

Matthew Norton, Total Package Detailing Service, LLC, explained the business services a relatively low volume of vehicles, typically approximately 3 per week.

**Motion (Hidde/Heling) to close Public Hearing #1 at 6:04 p.m.** Motion carried, all voting aye.

7. **SPECIAL EXCEPTION (SE-07-22)** – REQUEST BY TOTAL PACKAGE DETAILING SERVICE, LLC, 2145 W. PERSHING STREET, SUITES 112 & 114, FOR OPERATION OF AN AUTOMOBILE DETAILING BUSINESS.

Director Patza provided details regarding the proposed use including anticipated hours of operation.

**Motion (Ulrich/Crosby) to recommend approval (SE-07-22) requested by Total Package Detailing Services, LLC, 2145 W. Pershing Street, Suites 112 & 114, for the operation of an automobile detailing business.** Motion carried, all voting aye.

8. **PUBLIC HEARING #2** – SPECIAL EXCEPTION PERMIT (SE-08-22) REQUEST BY SDAHLKE INVESTMENTS, LLC, ON BEHLF OF KLUG FAMILY REPAIR, LLC AND DENT SOLUTIONS INC. OF WISCONSIN, 300 & 306 N. LYNNDALE DRIVE, FOR OPERATION OF BUSINESSES THAT INCLUDE AUTOMOBILE DENT REPAIR AND AUTOMOBILE SALES AND SERVICE.

Chairman Gehring opened Public Hearing #2 at 6:06 p.m. There was no public input.

**Motion (Heling/Hidde) to close Public Hearing #2 at 6:07 p.m.** Motion carried, all voting aye.

9. **SPECIAL EXCEPTION (SE-08-22)** – REQUESTED BY SDAHLKE INVESTMENTS, LLC, ON BEHLF OF KLUG FAMILY REPAIR, LLC AND DENT SOLUTIONS INC. OF WISCONSIN, 300 & 306 N. LYNNDALE DRIVE, FOR OPERATION OF BUSINESSES THAT INCLUDE AUTOMOBILE DENT REPAIR AND AUTOMOBILE SALES AND SERVICE.

Director Patza provided background on the past long-term use of the site as an automobile dealership and provided details regarding the automobile related uses proposed by the two businesses associated with this request.

**Motion (Hidde/Heling) to recommend approval of Special Exception (SE-08-22) requested by SDahlke Investments, LLC, on behalf of Klug Family Repair, LLC and Dent Solutions Inc. of Wisconsin, 300 & 306 N. Lynndale Drive, for operation of businesses that include automobile dent repair and automobile sales and service.** Motion carried, all voting aye.

10. **PUBLIC HEARING #3** – REZONING (Z-09-22) REQUESTED BY BERGSTROM CONVERTERS DRIVE INC., TO REZONE THE PROPERTY AT 2850 N. CASALOMA DRIVE FROM AGD GENERAL AGRICULTURAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Chairman Gehring opened Public Hearing #3 at 6:09 p.m. There was no public input.

**Motion (Hidde/Crosby) to close Public Hearing #3 at 6:09 p.m.** Motion carried, all voting aye.

11. **REZONING (Z-09-22)** – REQUEST BY BERGSTROM CONVERTERS DRIVE INC., TO REZONE THE PROPERTY AT 2850 N. CASALOMA DRIVE FROM AGD GENERAL AGRICULTURAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Planner Kemnitz explained the rezone request was to accommodate a new automobile dealership. The rezoning request is consistent with adjacent zoning classifications and compatible with existing uses. The rezoning request is consistent with the Town of Grand Chute Comprehensive Plan.

**Motion (Ulrich/Heling) to recommend approval of the Rezoning (Z-09-22) requested by Bergstrom Converters Drive Inc., to rezone the property at 2850 N. Casaloma Drive, from AGD General Agricultural District to CL Local Commercial District (Tax Key Parcel No. 101-1077901). Ordinance O-11-2022.** Motion carried, all voting aye.

12. **PUBLIC HEARING #4** – SPECIAL EXCEPTION PERMIT (SE-09-22) REQUESTED BY BERGSTROM GENESIS OF APPLETON, 2850 N. CASALOMA DRIVE AND 2900 N. VICTORY LANE, FOR OPERATION OF AN AUTOMOBILE SALES AND SERVICE BUSINESS.

Chairman Gehring opened Public Hearing #4 at 6:11 p.m. There was no public input

**Motion (Hidde/Crosby) to close Public Hearing #4 at 6:11 p.m.** Motion carried, all voting aye.

13. **SPECIAL EXCEPTION (SE-09-22)** – REQUEST BY BERGSTROM GENESIS OF APPLETON, 2850 N. CASALOMA DRIVE AND 2900 N. VICTORY LANE, FOR OPERATION OF AN AUTOMOBILE SALES AND SERVICE BUSINESS.

Planner Kemnitz provided details regarding the proposed use as an automobile sales and service business.

**Motion (Heling/Crosby) to recommend approval of Special Exception Permit (SE-09-22) requested by Bergstrom Genesis of Appleton, to allow automobile sales and service business located at 2850 N. Casaloma Drive and 2900 N. Victory Lane, subject to Town Board approval of Rezoning Z-09-22.** Motion carried, all voting aye

14. ADJOURNMENT.

**Motion (Heling/Hidde) to adjourn the meeting at 6:13 p.m.** Motion carried, all voting aye.

Respectfully Submitted,  
Tracy Olejniczak/MP  
Com. Dev. Admin. Asst.

6/7.

**Town of Grand Chute  
Special Exception Request  
Miller Electric Manufacturing, LLC**

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**To: Plan Commission**

**From: Michael Patza, Community Development Director**

**Date: June 1, 2022**

**Address: 3450 W. Spencer Street**

**App. #: SE-10-22**

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**A. REQUEST**

1. **Proposed Use(s):** Light manufacturing use.
2. **Project Description:** Construction of a loading dock and additional site improvements.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**B. ANALYSIS**

Applicant proposes to utilize this existing vacant warehouse space as part of their business. Connected to the south side of the College Centre building, the warehouse space is completely separated from the other commercial tenants on the north side of the building. Site access from W. Spencer Street will remain unchanged. Minor alterations including the addition of a loading dock and other improvements to building access are required to accommodate the new business. No other changes are proposed to the existing building or site.

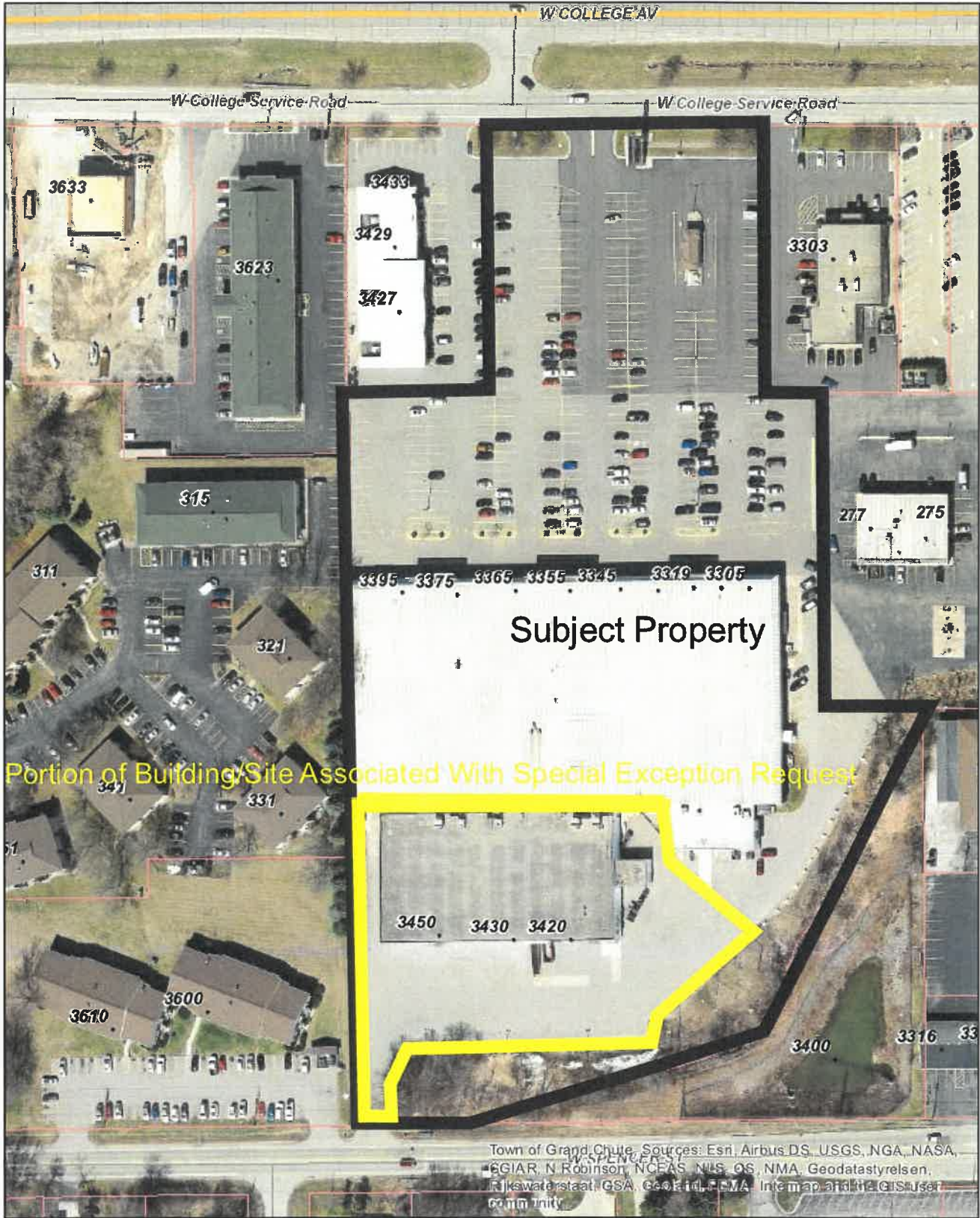
**C. FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Found.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Found.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Found.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Found.**

**D. RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception (SE-10-22) requested by Miller Electric Manufacturing, LLC, 3450 W. Spencer Street, for operation of a business that includes light manufacturing use on a property zoned CL Local Commercial District.

# SE-10-22 -- Location Map



**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:  
Copyright:

#### DESCRIPTION OF THE SPECIAL EXCEPTION REQUEST:

We are in the process of leasing our warehouse area at College Centre to a storage and light assembly tenant. Our warehouse area has a separate entrance and address, 3450 West Spencer Street. It is totally self-contained with a separate sprinkler system, heating and air conditioning system, entrances, etc. It has no connection, other than the common wall, to the retail area facing College Avenue.

Over the last 10 or 15 years, our tenants have been Estes Trucking and Transportation, the worm farm, Pac-Air Assembly and Distribution, and now Miller Electric.

The space currently has four dock doors, one ramp to one of the dock doors, a small office area, men's and lady's bathrooms, etc.

As part of our lease, we will be installing three dock levelers at three of the doors, four trailer restraints, several dock lights, kitchen sink, counters, etc., for a small break room, and installation of ADA access to the office area. We are increasing the electrical system from 200 amps to 350 amps.

There will be no outside storage and there will not be any noxious noise. If desired, we could arrange for the proper person to tour Miller Electric's facility on Perkins Street to confirm there is no noxious noise, etc.

Under this Zoning District, "special exception uses and structures" in the CL District are permitted. We would be asking for Section E (6) allowing the following: "light manufacturing uses and structures, such as packaging, bottling, storage facilities and laboratories, provided that all activities are conducted within completely enclosed buildings not involving odor, noise, smoke or other noxious effects detectable to normal senses from off the premises."



Chris Winter  
ROLLIE WINTER & ASSOCIATES, LTD.  
3305C North Ballard Road  
Appleton, WI 54911

Hello Chris,

Our plan for the leased space at 3450 W. Spencer Street would be to perform "final assembly" of components to produce some of our Wire Feed welding products. These products are used in the field on our Miller welding power sources. We are currently looking at putting in approximately 6-7 of these assembly areas to be able to perform this assembly work. At this time, we would be looking at approx. 20-25 people to occupy this space, so parking would be for 20-25 vehicles. We are interested in signing a 3-year lease, with the possibility of extending that as well. This is planned to be a "one shift" operation, with standard operating hours from 5am-4pm. Typical "overtime" hours of assembly (when necessary) would be 5am-3pm M-F, and 5am-12pm on Saturday. This should not have any impact on adjacent properties, as the work will be done inside of the facility. There aren't any "process" emissions (out of the facility) either, as this is only "assembly" type of work. We feel that this is a good "fit" for this location. Any questions or concerns, please contact me or Rick Rosenfeldt (Facility Manager/Mfg. Engineer) 920-851-3130.

Thanks,

A handwritten signature in black ink that reads "Roger Hornberger".

**Roger Hornberger**  
VP/IGM Industrial Equipment Division

**Miller Electric Mfg. LLC** An ITW Welding Company  
N676 Communication Dr. Appleton, WI 54914 Phone: 920.735.4464 Mobile: 732.986.7148  
[MillerWelds.com](http://MillerWelds.com) | [Facebook](#) | [Twitter](#) | [YouTube](#)

**3450 WEST SPENCER STREET  
APPLETON, WISCONSIN**



# MINOR ALTERATIONS FOR 3450 W. SPENCER ST

GRAND CHUTE,

WISCONSIN

## GENERAL NOTES

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION WORK ONLY. ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES WHICH GOVERN FOR THE BUILDING SITE, AND SHALL BE DONE IN A WORKMANLIKE MANNER.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

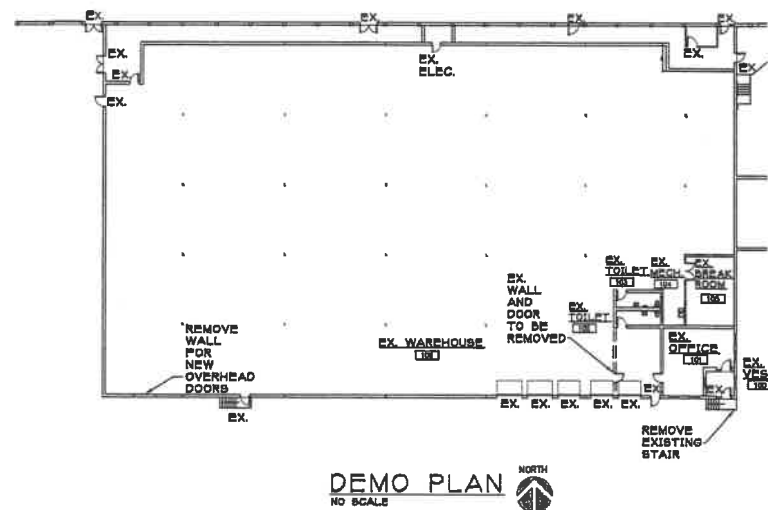
THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

TABLE 1012.4 MEANS OF EGRESS HAZARD  
F-2 IS LESS HAZARDOUS THAN F-1

TABLE 1012.5 HEIGHTS AND AREAS HAZARD  
F-2 IS LESS HAZARDOUS THAN F-1

TABLE 1012.6 EXPOSURE OF EXTERIOR WALLS HAZARD  
F-2 IS LESS HAZARDOUS THAN F-1



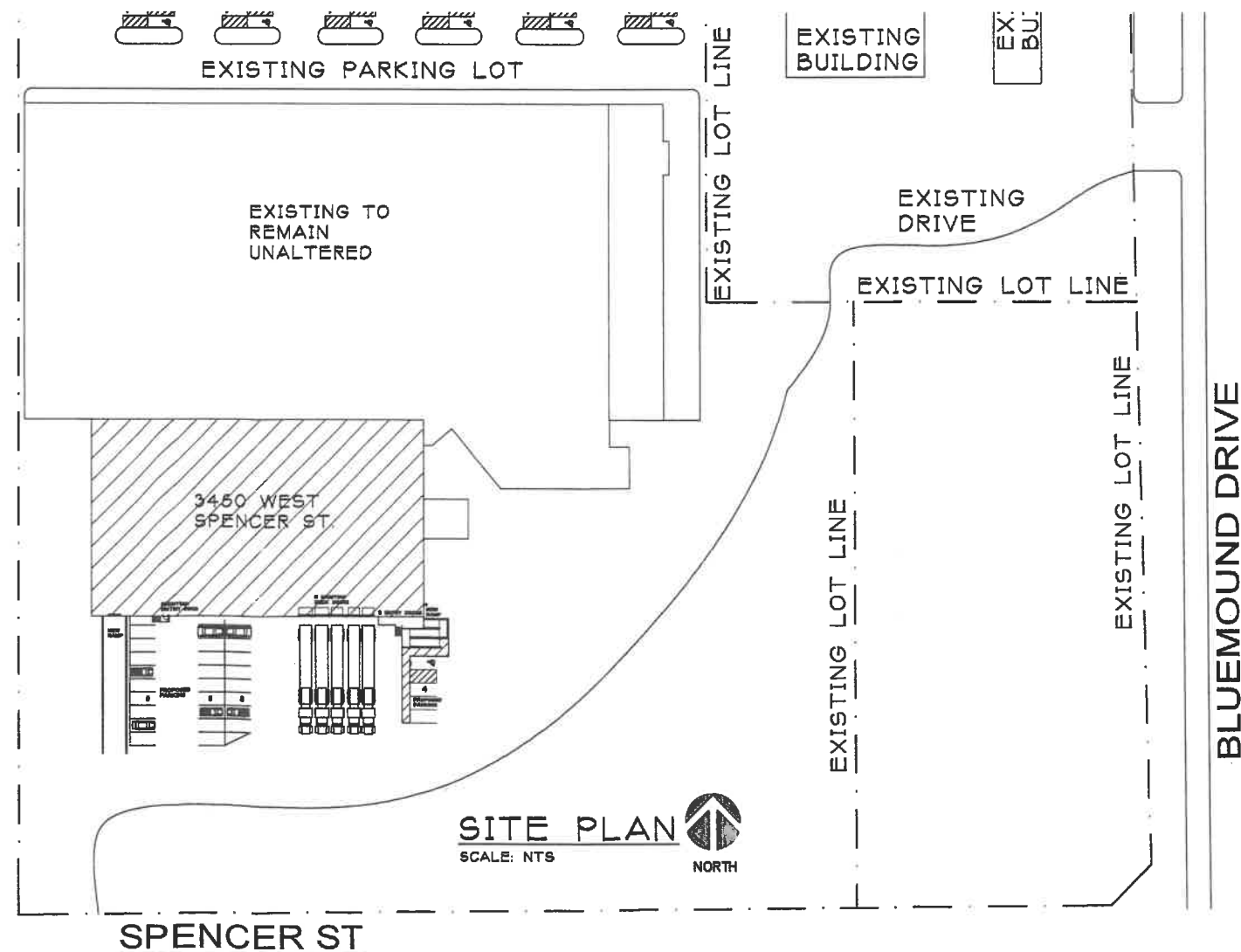
## PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION  
TYPE IIB - NON COMBUSTIBLE

OCCUPANCY  
F-2 "MANUFACTRE/ASSEMBLY"  
PREVIOUS OCCUPANCY F-1 "STORAGE"

## SHEET INDEX

SHEET	SHEET TITLE
T1.0	GENERAL COVER SHEET, INDEX, NOTES SCHEMATIC SITE PLAN, DEMO PLAN
A1.0 A1.1 A2.0	ARCHITECTURAL FLOOR PLAN EXTERIOR ELEVATIONS ADA DETAILS



PROPOSED ALTERATION FOR,  
**3450 W. SPENCER ST.**  
GRAND CHUTE,  
WISCONSIN

DATE: MAY 16, 2025  
ARCH: K. SPERL  
D. BY: C. HORNING  
JOB: 25-001  
REV: ---

A  
1.0

**Town of Grand Chute  
Site Plan Amendment Review  
College Centre, LLC, on behalf of Miller Electric Manufacturing, LLC**

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**To:** Plan Commission  
**From:** Michael Patza, Community Development Director  
**Date:** June 2, 2022  
**Address:** 3450 W. Spencer Street **App. #: SPA2-00-12**

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**REQUEST**

- 1. **Proposed Use(s):** Light manufacturing use.
- 2. **Project Description:** Construction of a loading dock and additional site improvements.
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

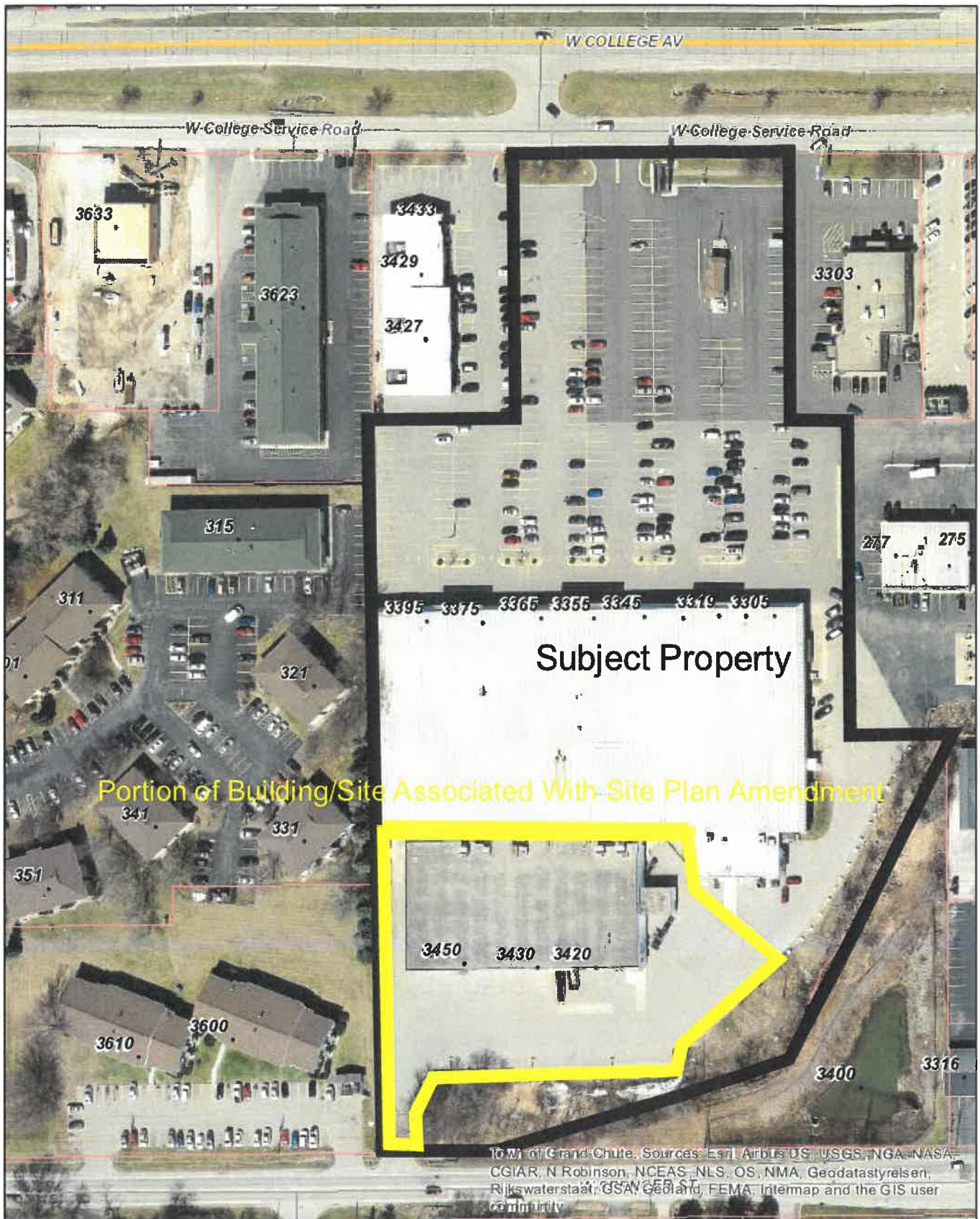
**ANALYSIS**

The project includes construction of a new loading dock on the south side of the building and other improvements to building access points to accommodate the new tenant. No other changes are proposed to the existing building, parking lot, or site access. All other code requirements are met with this request.

**RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of Site Plan Amendment (SPA2-00-12) requested by College Centre, LLC, on behalf of Miller Electric Manufacturing, LLC, 3450 W. Spencer Street, for construction of a loading dock and additional improvements, subject to Town Board approval of Special Exception SE-10-22.

# SPA2-00-12 -- Location Map



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Author:

Copyright:



# MINOR ALTERATIONS FOR 3450 W. SPENCER ST

GRAND CHUTE,

WISCONSIN

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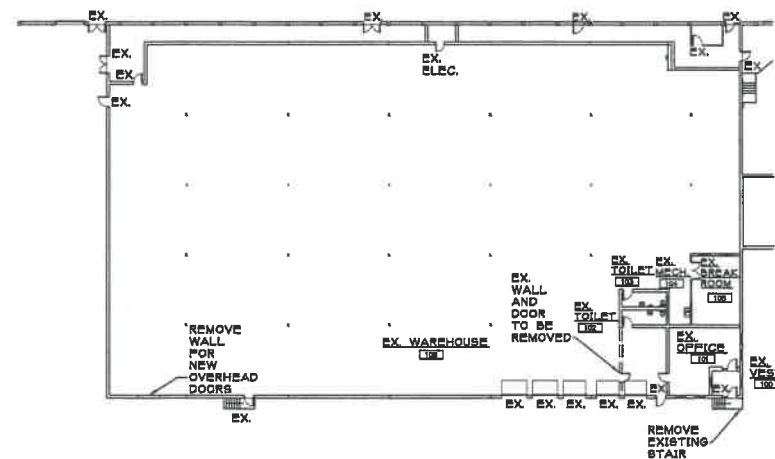
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DEMO PLAN  
NO SCALE

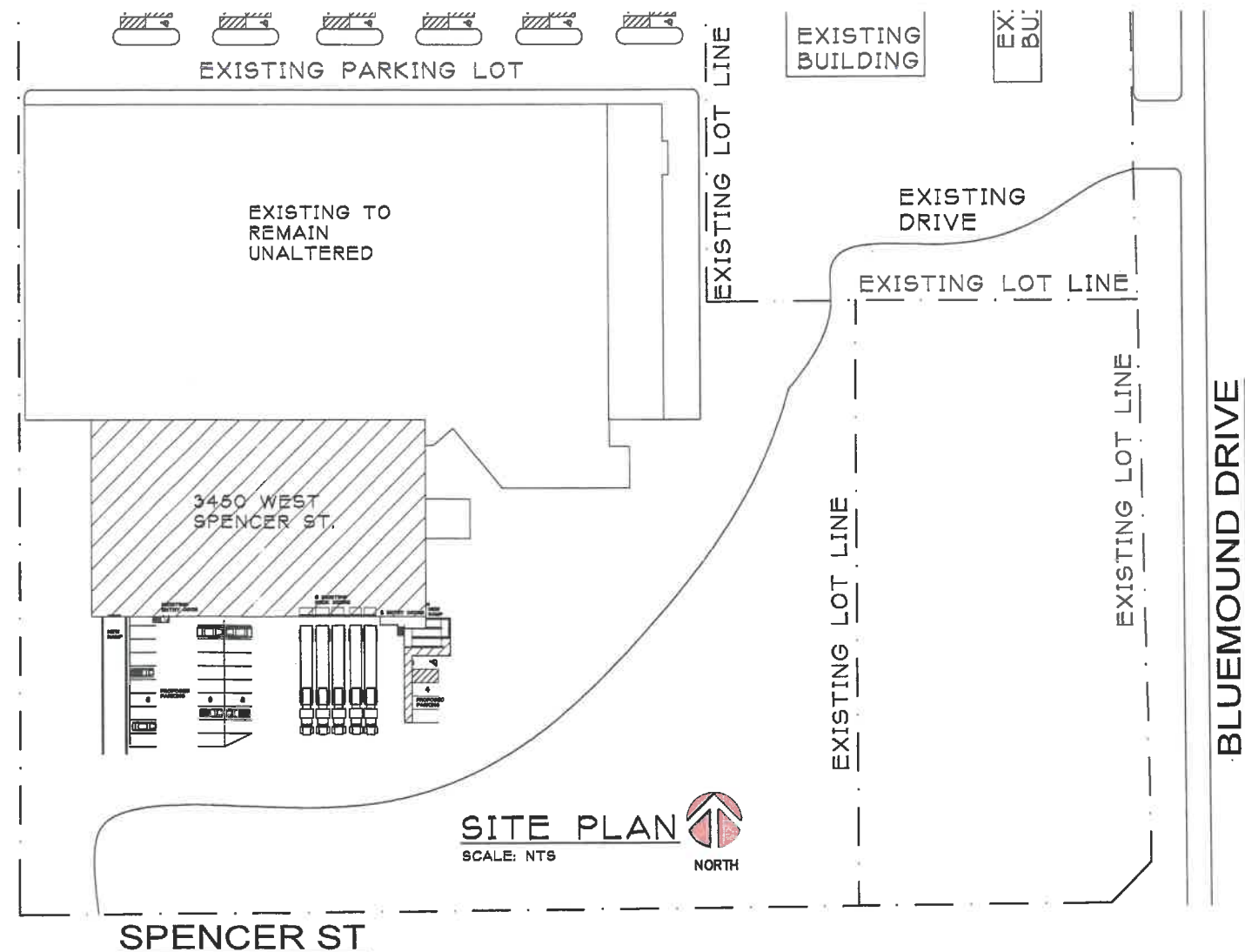
## PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION  
TYPE IIB - NON COMBUSTIBLE

OCCUPANCY  
F-2 "MANUFACTRE/ASSEMBLY"  
PREVIOUS OCCUPANCY F-1 "STORAGE"

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A1.0 A1.1 A2.0	ARCHITECTURAL FLOOR PLAN EXTERIOR ELEVATIONS ADA DETAILS



SITE PLAN  
SCALE: NTS

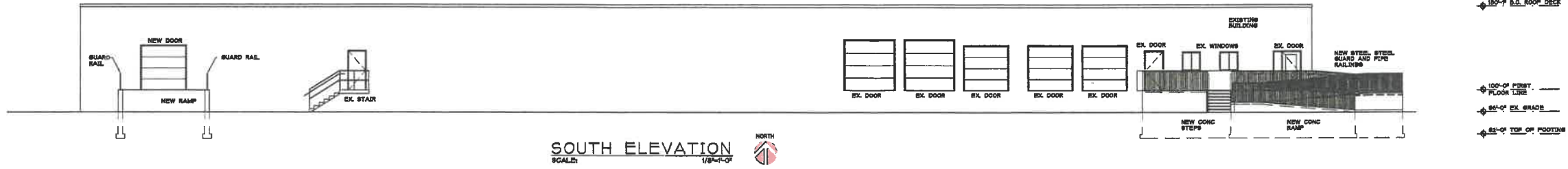
**ACS**  
ARCHITECTURAL CONSULTANTS & ENGINEERS, INC.  
327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54915  
TELE: 920-674-2657 FAX: 920-674-2660

PROPOSED ALTERATION FOR,  
**3450 W. SPENCER ST.**  
GRAND CHUTE,  
WISCONSIN

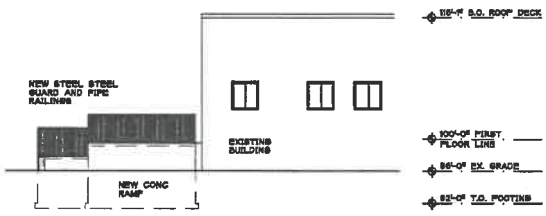
DATE: MAY 16, 2023  
ARCH: J. SPRELL  
D. BY: C. HORNUNG  
JOB: 22-051  
REV: \_\_\_\_\_

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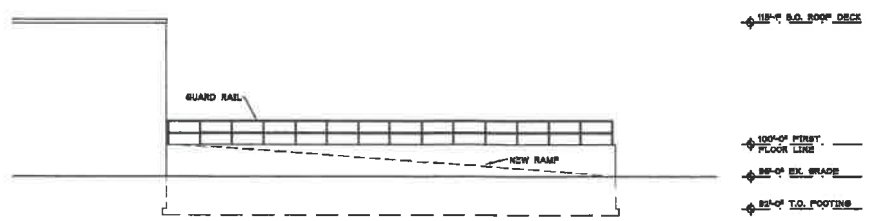




**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0" NORTH



**EAST ELEVATION**  
SCALE: 1/8"=1'-0" NORTH



**WEST ELEVATION**  
SCALE: 1/8"=1'-0" NORTH

**ACS**  
Architectural &  
Construction Services, Inc.  
327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54913  
TELE: 920-574-2657 FAX: 920-574-2660

PROPOSED ALTERATION FOR,  
**3450 W. SPENCER ST.**  
GRAND CHUTE,  
WISCONSIN

DATE: MAY 16, 2022  
ARCH: K. SPERL  
D. BY: C. HORNUNG  
JOB: 22-031  
REV: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**A**  
**1.1**

**Town of Grand Chute  
Site Plan Review  
Bergstrom Genesis of Appleton**

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**To: Plan Commission**

**From: Lindsey Kemnitz, Town Planner**

**Date: June 1, 2022**

**Address: 2900 N. Victory Lane**

**App. #: SP-09-22**

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**REQUEST**

- 1. Proposed Use(s):** Operation of an automobile sales and service.
- 2. Project Description:** New commercial building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Pending approval of lot consolidation CSM.

**ANALYSIS**

Applicant proposes the construction of a 20,573 sq. ft. commercial building and associated site improvements for the new Genesis automobile dealership. The building exterior will feature a combination glass and ACM metal panels, consistent to other adjacent buildings on N. Victory Lane. The site provides perimeter display area for automobile sales and customer parking adjacent to the building. A cross-access easement will be required to allow paved areas within the side yard setback on the east side of the site. Staff worked with the development team to maximize landscaping on the site.

The Stormwater Management Plan for the project will utilize a new stormwater pond located on the southwest corner of the site and an existing stormwater pond on the adjacent property to the east to treat stormwater runoff. The Town Engineer is reviewing the Stormwater Management and Erosion Control Plans and their approval is a condition of Site Plan approval.

The Site Lighting Plan and Landscaping Plan have been approved by staff. All other code requirements are met with this request. Additional approval required for this project includes Certified Survey Map (CSM) to accommodate the proposed development. Staff approval of the CSM is a condition of the Site Plan approval.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-09-22) requested by Bergstrom Genesis of Appleton, 2900 N. Victory Lane, for construction of a new commercial building and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans and Staff approval of the CSM.**

# SP-09-22 - Bergstrom Genesis of Appleton - Location Map



Town of Grand Chute. Sources: Esri, Airbus DS, USGS, NOAA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodata.nl, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

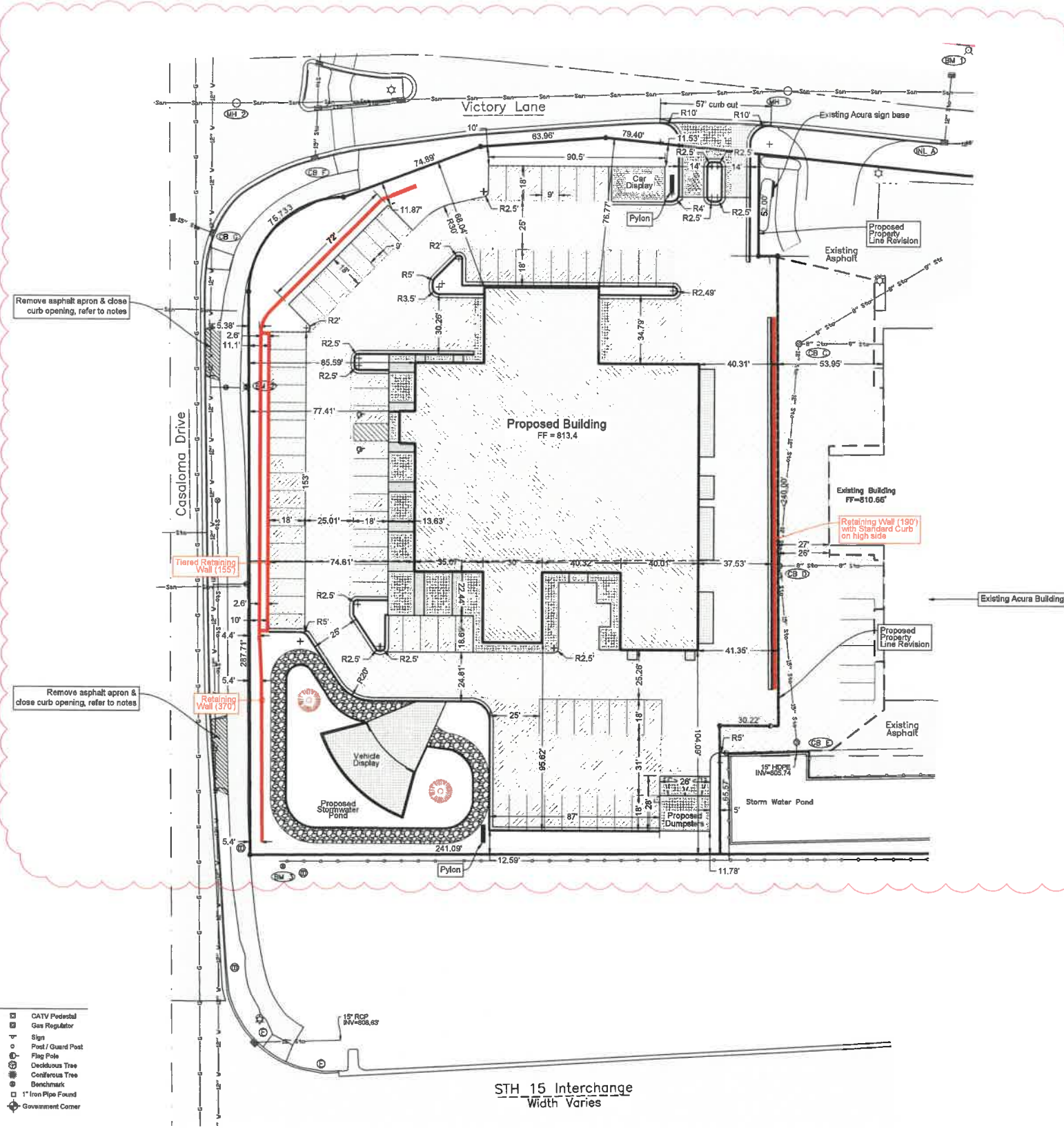
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Author:  
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**LEGEND**

— 18" — Storm Sewer (Pipe Size)	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— 12" — Water Main (Pipe Size)	⊕ Clean Out / Catch Stop / Pull Box	⊕ Gas Regulator
— 4" — Fence - Steel	⊕ Storm Manhole	⊕ Sign
— 500 — Index Contour - Existing	⊕ Inlet	⊕ Post / Guard Post
— 799 — Intermediate Contour - Existing	⊕ Catch Basin / Yard Drain	⊕ Flag Pole
▨ Asphalt Pavement	⊕ Hydrant	⊕ Deciduous Tree
▨ Concrete Pavement	⊕ Utility Valve	⊕ Coniferous Tree
▨ Gravel	⊕ Light Pole / Signal	⊕ Benchmark
	⊕ Telephone Pedestal	⊕ 1" Iron Pipe Found
	⊕ Telephone Manhole	⊕ Government Corner
	+799.9 Ex Spot Elevation	



**Project Information**

**Site Information**  
Parcel: 101077902, 101077901  
Zoning: CL, Local Commercial  
Legal Description: Proposed CSM

**Setback Information**  
Front: 35' (North, West)  
Rear: 25' (Not Applicable)  
Side: 10' (East)  
Highway: 55' (South)

Proposed Disturbed Area: 100,000± SF

**Site Areas - Proposed CSM**  
Building coverage: 20,573 SF  
Parking and Drives: 53,830 SF  
Lawn and Landscaping: 168,648 SF  
Total Site Area: 93,052 SF± (2.136 Acres)  
Impervious Area = 79,996± (74,403 SF)

**General Notes**  
Dimensions along curb is measured to the curb face.

Remove both Casaloma Drive curb openings, reconstruct with standard curb and gutter, topsoil/seed between trail & curb. Sawcut asphalt pedestrian path to maintain the full 10-foot width.

If impacted, the Casaloma Drive asphalt path shall be reconstructed per Town specifications including 3-inch asphalt over 9-inch base aggregate dense.

**Parking Notes**  
2 ADA parking spaces are provided based on total of 25 customer/service parking spaces. The balance of the 76 parking spaces (53) are designated for dealership inventory.

**SHEET INDEX:**

Sheet	Page
Site Plan	C-1.0
Topographic Survey	C-1.1
Drainage and Grading Plan	C-1.2
Erosion & Sediment Control Plan	C-1.3
Utility Plan	C-1.4
Construction Details	C-2.1
Erosion & Sediment Control Details	C-2.2
Stormwater Pond Details	C-2.3

**SITE PLAN**

**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1184 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-441-0804  
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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
**GENESIS OF APPLETON,**  
APPLETON, WISCONSIN

date: 05/24/2022  
job:  
d. by:  
rev.:

**C-1.0**

**GENERAL PLAN DEMOLITION NOTES:**

- ALL CONTRACTORS SHALL VISIT THE SITE AND FIELD VERIFY THE LOCATION OF ALL UTILITIES, LIGHT FIXTURES, ETC. TO BE REMOVED.
- ALL MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE REMOVED FROM THE SITE IN A TIMELY MANNER UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE 8" HIGH CHAIN-LINK FENCINGS AROUND CONSTRUCTION LIMITS AND STAGING AREAS, VERIFY BUSINESS ACCESSIBILITY TO OTHER OPERATIONAL BUILDINGS BY OWNER.
- PATCH ANY AREAS OF LAWN, PAVING, OR CONCRETE PAVING AND/OR CONCRETE CURBS DISTURBED BY CONSTRUCTION AND MATERIAL DELIVERY.
- ALL SITE UTILITIES MUST BE FIELD VERIFIED PRIOR TO DEMOLITION WORK.

**NOTE:**  
IF FINAL COURSE OF ASPHALT IS NOT COMPLETED WHEN BUILDING IS COMPLETE, BINDER COURSE TO RAMP UP AT APPROX. CURBS, CATCH BASINS, ETC. TO MINIMIZE ANY DAMAGE BY SNOW FLOWS OR DAMAGE TO VEHICLES.

**GENERAL SITE PLAN NOTES:**

- GENERAL CONTRACTOR TO PROVIDE CONCRETE MECHANICAL EQUIPMENT PADS, COORDINATE SIZE & REIN. REQUIREMENTS WITH MECHANICAL & ELECTRICAL CONTRACTOR.
- GENERAL CONTRACTOR TO PROVIDE SILT FENCE / EROSION CONTROL MEASURES PER CIVIL DRAWINGS AND LOCAL MUNICIPALITY REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB, DISTURBED BY CONSTRUCTION.
- GENERAL CONTRACTOR TO RUSH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR. ALL DRIVEWAY CUTS AND CURBS SHALL COMPLY WITH THE LOCAL MUNICIPALITY STANDARDS.
- SEE LANDSCAPE PLAN SHEET L-1 FOR PLANTING INFORMATION.
- HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS, COORDINATE PARKING LOT GRADINGS AND RAMP-UPS WITH DOOR LOCATIONS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE LOCAL MUNICIPALITY EROSION CONTROL INSPECTOR.
- WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
- IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION / LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1st OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
- THE EXISTING GRASS STREET TERRACE WITHIN THE LOCAL MUNICIPALITY RIGHT OF WAY SHALL BE MAINTAINED AS BUFFER THROUGHOUT CONSTRUCTION. AT A MINIMUM, THE GRASS TERRACE SHALL BE RESTORED WITH TEMPORARY SEED (OATS / RYE) AND MULCHED WITHIN 10 DAYS OF THE COMPLETION OF ALL LATERAL INSTALLATIONS AND OTHER CONSTRUCTION ACTIVITY. IF THE TERRACE IS NOT TO BE RESTORED DURING FINAL LANDSCAPING, A PERMANENT SEED MIX SHALL BE UTILIZED.

**KEYED SITE PLAN NOTES**

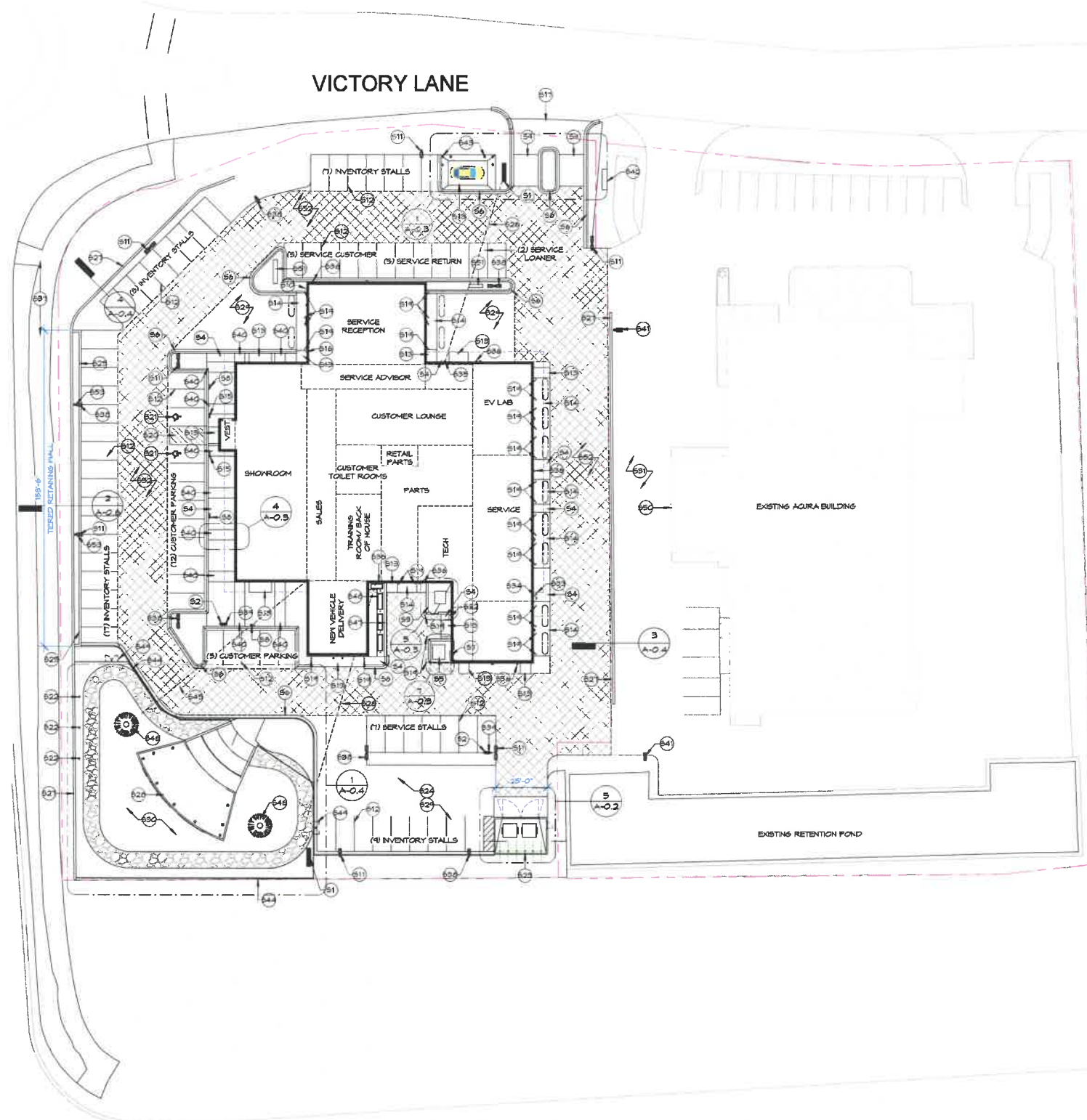
- NEW PYLON SIGN BY OWNER, COORDINATE WITH SIGNAGE VENDOR WHETHER SIGN COMPANY OR GO TO PROVIDE FOUNDATION, PROVIDE ELECTRICAL & CONTROLS CONDUIT FROM BUILDING TO SIGN. VERIFY LOCATION & REQUIREMENTS WITH OWNER.
- ELECTRIC VEHICLE CHARGING STATION SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR TO PROVIDE POWER AND FINAL CONNECTIONS. (1) LEVEL 3 FAST CHARGER.
- USED OIL ENCLOSURE, REFER TO ENLARGED PLAN FOR ADDITIONAL INFO.
- CONCRETE PAVES, REFER TO CIVIL DRAWINGS FOR ADDET. INFO. PROVIDE SCORE JOINTS APPROX. 3'-0" O.C. AND CONTROL JOINTS 24'-0" O.C. MAX.
- ELECTRICAL TRANSFORMER, COORDINATE LOCATION WITH ELECTRICAL CONTRACTOR/UTILITY CONTRACTOR.
- CONCRETE CURBS, REFER TO CIVIL DRAWINGS.
- C.T. CABINET, COORDINATE LOCATION WITH ELECTRICAL CONTRACTOR.
- GUEST PARKING SIGN, REFER TO SITE DETAIL 8/A-0.2 FOR ADDITIONAL INFO.
- PAVERS (P-V-1), REFER TO DETAIL 8/A-0.8 FOR ADDITIONAL INFO.
- THRU-HALL AFTER HOURS DROP-BOX, PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. COORDINATE LOCATION AND TYPE WITH OWNER. COLOR: BLACK. BASIS OF DESIGN: KEYKEEPER XL THROUGH-HALL DROP BOX. IF NEEDED, INSTALL BLOCKS BEHIND A.G.H. TO KEEP A.G.H. FROM PILING IN DURING INSTALLATION.
- EXTERIOR LIGHT POLE (BLACK), REFER TO SITE LIGHTING (PHOTOMETRICS). CONCRETE BASE TO BE HAND-REBUSED.
- PARKING LOT STRIPES - STRIPE AS SHOWN ON PLAN ONLY AFTER VERIFYING LOCATION WITH OWNER - COLOR: WHITE MERVYL.
- CONCRETE STOOP IV 2" RISE INSULATION UNDERNEATH - REFER TO PLANS, SITE DETAILS AND STRUCTURAL DRAWINGS.
- IF THICK CONCRETE APRON WITH THICKENED EDGE IV 2" THICK RISE INSUL. - REFER TO PLANS, SITE DETAILS AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- ADA PARKING IV H.G. SIGN AND POST PER D.O.T. ADMIN. RULE TRANS 200.07, TYPICAL. PROVIDE ONE POST MOUNTED SIGN IV ADDITIONAL D.O.T. APPROVED SIGN STATING "VAN ACCESSIBLE" AT A SPACE WITH AN ADJACENT 8'-0" WIDE ABLE ADA PARKING SPACE & ACCESS ABLE SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 1:50 (2%) IN ALL DIRECTIONS. REFER TO ADA DETAILS. NOTE: OWNER TO SUPPLY SIGNS FROM THEIR VENDOR. CONTRACTOR TO INSTALL.
- KNOX-BOX BY GENERAL CONTRACTOR. COORDINATE WITH TOWN OF GRAND CHUTE FIRE DEPARTMENT. VERIFY FINAL LOCATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION.
- NEW CONCRETE DRIVE ACCESS APRON - REFER TO CIVIL DRAWINGS FOR DETAILS AND EXACT LOCATIONS. TYP. MEET TOWN OF GRAND CHUTE REQUIREMENTS FOR TYPE AND CONSTRUCTION. VERIFY LAYOUT, CONSTRUCTION AND HEIGHTS WITH THE TOWN OF GRAND CHUTE PRIOR TO CONSTRUCTION.
- NEW VEHICLE DISPLAY POD, REFER TO PLAN & DETAILS.
- 6" DIAMETER STEEL PIPE BOLLARD, FILLED SOLID IV CONC., PRIME AND COVERED WITH P.V.G. COVER (BLACK). REFER TO DETAIL 8/A-7.8.
- ACCESSIBLE ABLE PARKING LOT STRIPES, COLOR TO MATCH PARKING LOT STRIPES.
- ACCESSIBLE STALL PAINTED SYSTEM.
- 50" HIGH FLAG POLE (COLOR: BLACK ANODIZED ALUMINUM), WITH POLE MOUNTED UP-LIGHTING SYSTEM (SINGLE WATER-TIGHT, LED LIGHT MOUNTED AT 10'-0"). REFER TO DETAILS. ELECTRICAL CONTRACTOR TO INSTALL FIXTURE, POWER, AND LIGHTING FOR FUTURE. PROVIDE (3) 10X15 FLAGS. COORDINATE WITH RETAINING WALL INSTALLATION.
- DUMPSTER ENCLOSURE, REFER TO PLAN & DETAILS FOR ADDITIONAL INFO. TYP.
- ELECTRICAL CONTRACTOR TO PROVIDE POWER/DATA FOR (4) EXTERIOR SECURITY CAMERAS. COORDINATE LOCATIONS AND REQUIREMENTS WITH OWNER/OWNER'S VENDOR.
- TERRED RETAINING WALL WITH 42" HIGH DECORATIVE FENCE ON TOP. BASIS OF DESIGN: AMERISTAR FENCE, MONTAGE PLUS, HAESTIC. REFER TO DETAIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFO.
- ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT FOR POWER/DATA & CONTROLS TO PYLON/MONUMENT SIGN. COORDINATE REQUIREMENTS WITH SIGNAGE VENDOR.
- RETAINING WALL WITH 42" HIGH DECORATIVE FENCE ON TOP. BASIS OF DESIGN: AMERISTAR FENCE, MONTAGE PLUS, HAESTIC. REFER TO DETAIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFO.
- NEW RAISED VEHICLE DISPLAY POD, REFER TO CIVIL DRAWINGS, PLAN & DETAILS.
- ASPHALT PAVING, REFER TO CIVIL DRAWINGS FOR PAVING AND BASE DESIGN. TYP. BASIS OF DESIGN: NORTHEAST ASPHALT, BERGSTROM MIX.
- STORM WATER POND, REFER TO CIVIL DRAWINGS FOR REQUIREMENTS.

**KEYED SITE PLAN NOTES**

- PATCH/REPLACE ASPHALT AS REQUIRED AT ACURA FOR NEW RETAINING WALL AND GRADINGS. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO.
- REMOVE OUTDOOR STAINLESS STEEL FILL/SPILL CONTAINMENT BOX WITH OVERFILL ALARM PANEL, BY OWNERS EQUIPMENT VENDOR. COORDINATE LOCATION WITH ALL BUILDING TRADES & OWNER.
- 2"x2" STL. TIE BELD BETWEEN (2) 6" DIA. STEEL PIPE BOLLARDS FILLED SOLID IV CONC., PAINTED, AT 6'6" CENTER.
- 6'6" HETER. HVAC CONTRACTOR TO DETERMINE FINAL LOCATIONS.
- FIRE DEPARTMENT CONNECTION, VERIFY EXACT LOCATION AND TYPE WITH LOCAL JURISDICTION HAVING AUTHORITY.
- EXTERIOR HOSE BIBS BY PLUMBING CONTRACTOR. REFER TO PLUMBING DRAWINGS.
- REMOVE EXISTING ASPHALT SIDEWALK AS REQUIRED FOR NEW RETAINING WALL CONSTRUCTION. REPLACE SIDEWALK TO MATCH EXISTING CONDITIONS.
- EXTERIOR LIGHT POLE (BLACK), REFER TO SITE LIGHTING (PHOTOMETRICS). CONTRACTOR TO PROVIDE POWER OUTLET AT LIGHT POLE. LIGHT POLE BASE TO BE HAND-REBUSED.
- FUTURE ELECTRIC VEHICLE CHARGING STATION, PROVIDE CONDUIT FOR (1) FUTURE LEVEL 3 ULTRA FAST CHARGER.
- PAVERS (P-V-1), REFER TO DETAIL 4/A-0.3 AND ROOM FINISH SCHEDULE FOR ADDET. INFO.
- EXTERIOR LIGHT POLE, RELOCATED (WHITE), REFER TO SITE LIGHTING (PHOTOMETRICS). CONTRACTOR TO PROVIDE POWER AT LIGHT POLE. CONCRETE BASE TO BE HAND-REBUSED.
- EXISTING ACURA PYLON SIGN TO REMAIN.
- BOLLARD LIGHTS, REFER TO DETAIL FOR ADDITIONAL INFO.
- 42" HIGH DECORATIVE FENCE AROUND POND. BASIS OF DESIGN: AMERISTAR FENCE, MONTAGE PLUS, HAESTIC.
- PROVIDE 1" WATER LINE FROM BLDG. TO POND IV BLOW-OUT BY PLUMBING CONTRACTOR. DEDICATED ELECTRICAL LINE BY ELECTRICAL CONTRACTOR.
- FOUNTAIN, COORDINATE REQUIREMENTS WITH OWNER. COORDINATE IV CIVIL DRAWINGS. CONTRACTOR TO PROVIDE POWER/HOOK-UPS.
- PARTIAL HEIGHT WALL, REFER TO FLOOR PLAN AND SECTION FOR ADDITIONAL INFO.
- NVD GARDEN, REFER TO DETAIL AND LANDSCAPE PLAN FOR ADDET. INFO.
- PAIR OF 3'-0" SHINGLES GATES. BASIS OF DESIGN, AMERISTAR FENCE, MONTAGE PLUS, HAESTIC.
- ADD WALL PACK AT 15'-0" AFF TO MATCH OTHER WALL PACKS ON BUILDING.
- DIRECTIONAL SIGNAGE BY OWNER'S VENDOR.
- HATCHED AREA INDICATES HEAVY DUTY ASPHALT PAVING. REFER TO CIVIL DRAWINGS FOR PAVING AND BASE DESIGN. TYP. BASIS OF DESIGN: NORTHEAST ASPHALT, BERGSTROM MIX.
- COORDINATE LIGHT POLE PLACEMENT WITH RETAINING WALL DESIGN.

CASALOMA DRIVE

VICTORY LANE



NORTHLAND AVE / HIGHWAY 15

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

1 ARCHITECTURAL SITE PLAN  
A-0.1 1" = 30'-0"



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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
**GENESIS OF APPELTON**  
APPELTON, WISCONSIN

date: 05-10-2022  
job: 21-025  
d. by: KLF  
rev.: ADDM: 05-24-2022

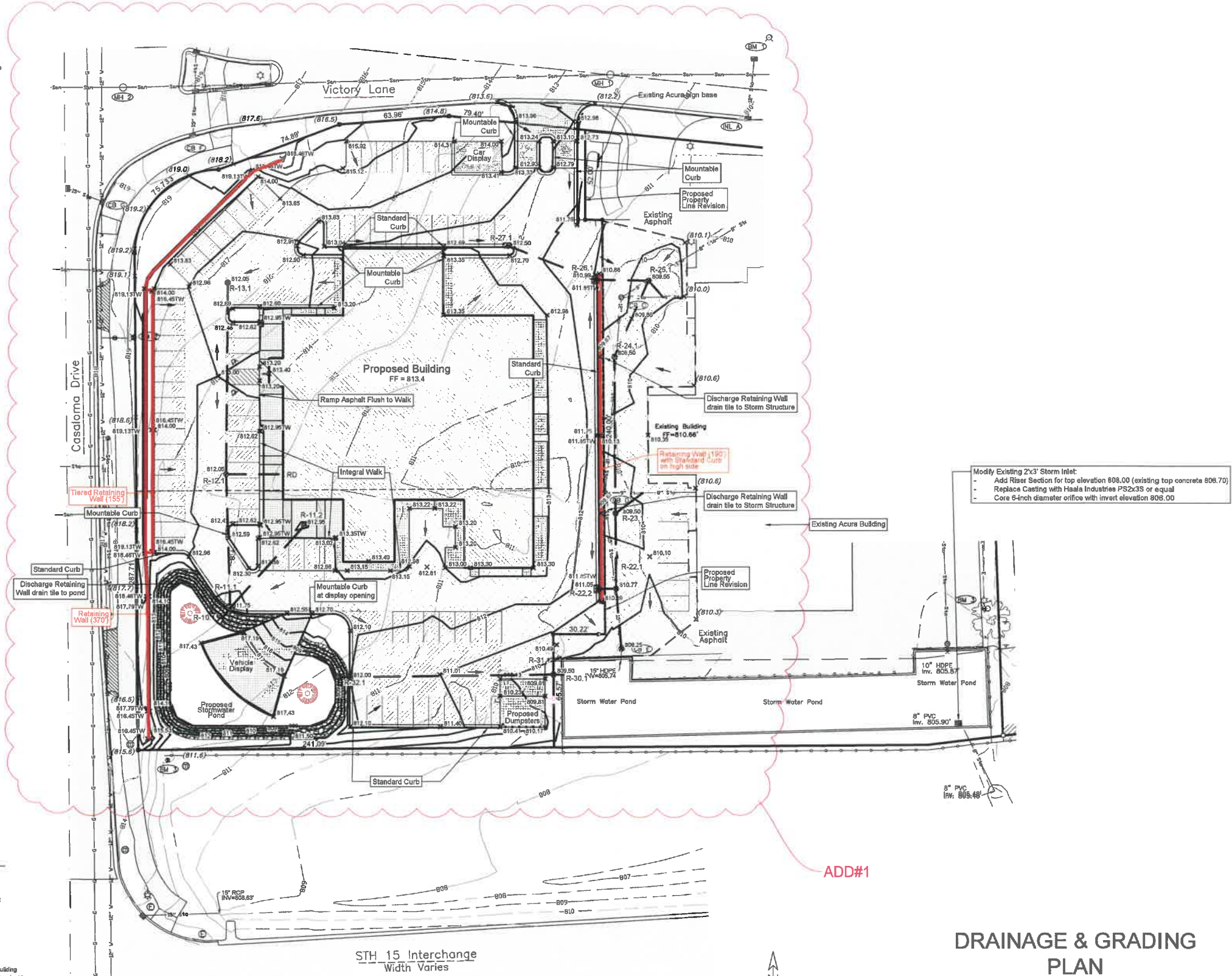
A-0.1

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- Retaining Wall drain tile shall be directed to a stable outlet to the stormwater pond or adjacent storm sewer structure.

BENCHMARKS (NAVD88)

BM 0	NGS Monument (DF6092) West R/W of N McCarthy Rd Elev 819.23
BM 1	Fire Hydrant, Flag Bolt N R/W of Victory Lane Elev 811.55
BM 2	Fire Hydrant, Tag Bolt E R/W Casatoma Drive Elev 820.74
BM 3	Fire Hydrant, Tag Bolt 3' SE of Fence Corner Elev 812.10

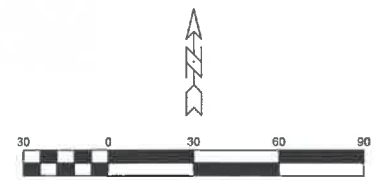


LEGEND

— 18" — 18" — Storm Sewer (Pipe Size)	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— 12" — 12" — Water Main (Pipe Size)	○ Clean Out / Curb Stop / Pull Box	□ Gas Regulator
— 8" — 8" — Fence - Steel	○ Storm Manhole	□ Sign
— 6" — 6" — Inlet Curb - Existing	○ Inlet	□ Post / Guard Post
— 4" — 4" — Intermediate Contour - Existing	○ Catch Basin / Yard Drain	□ Flag Pole
— 2" — 2" — Asphalt Pavement	○ Hydrant	○ Deciduous Tree
— 1" — 1" — Concrete Pavement	○ Utility Valve	○ Coniferous Tree
— 0.5" — 0.5" — Gravel	○ Light Pole / Signal	○ Benchmark
— 0.25" — 0.25" — Proposed Storm Sewer	○ Telephone Pedestal	○ 1" Iron Pipe Found
— 0.125" — 0.125" — Proposed Curb	○ Telephone Manhole	○ Government Corner
— 0.0625" — 0.0625" — Proposed Sidewalk	○ Ex Spot Elevation	
— 0.03125" — 0.03125" — Proposed Culvert	○ Proposed Storm Manhole	□ Proposed Building
— 0.015625" — 0.015625" — Prop. Flowline Spot Elev.	○ Proposed Curb Inlet	□ Proposed Standard I
— 0.0078125" — 0.0078125" — Prop. Top of Walk Elev.	○ Prop. Catch Basin / Yard Drain	□ Proposed Concrete
— 0.00390625" — 0.00390625" — Existing Grade	○ Proposed Eretwall	□ Proposed Pavers
	○ Proposed Rip Rap	
	○ Prop. Drainage Direction	
	○ Prop. Finished Floor Elev.	

ADD#1

STH 15 Interchange  
Width Varies



DRAINAGE & GRADING PLAN

**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1184 Province Terrace, Menasha, WI 54952  
Ph: 920-891-1868 Fax: 920-441-0804  
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Neenah, Wisconsin 54956  
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www.griesdesign.com

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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
GENESIS OF APPLETON  
APPLETON, WISCONSIN

date: 05/24/2022  
job: \_\_\_\_\_  
d. by: \_\_\_\_\_  
rev.: \_\_\_\_\_

C-1.2

Sequence of Construction

- 1) Obtain plan approval and other applicable permits
2) Install & maintain all sediment control measures: June 2022.
3) Sewer & Water Utility Construction: June 2022.
4) Site Work & Building Foundation Construction: June - July 2022.
5) Grade and Gravel Construction: July 2022.
6) Building Construction: July - September 2022.
7) Paving: September 2022.
8) Final Landscaping: September 2022.
9) Stabilize lawn areas no later than one week after final grade is established.
10) Topsoil critical areas and establish vegetation/erosion control measures.

Note: The dates provided are approximate for proposed construction and subject to weather conditions and overall project schedule.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater.

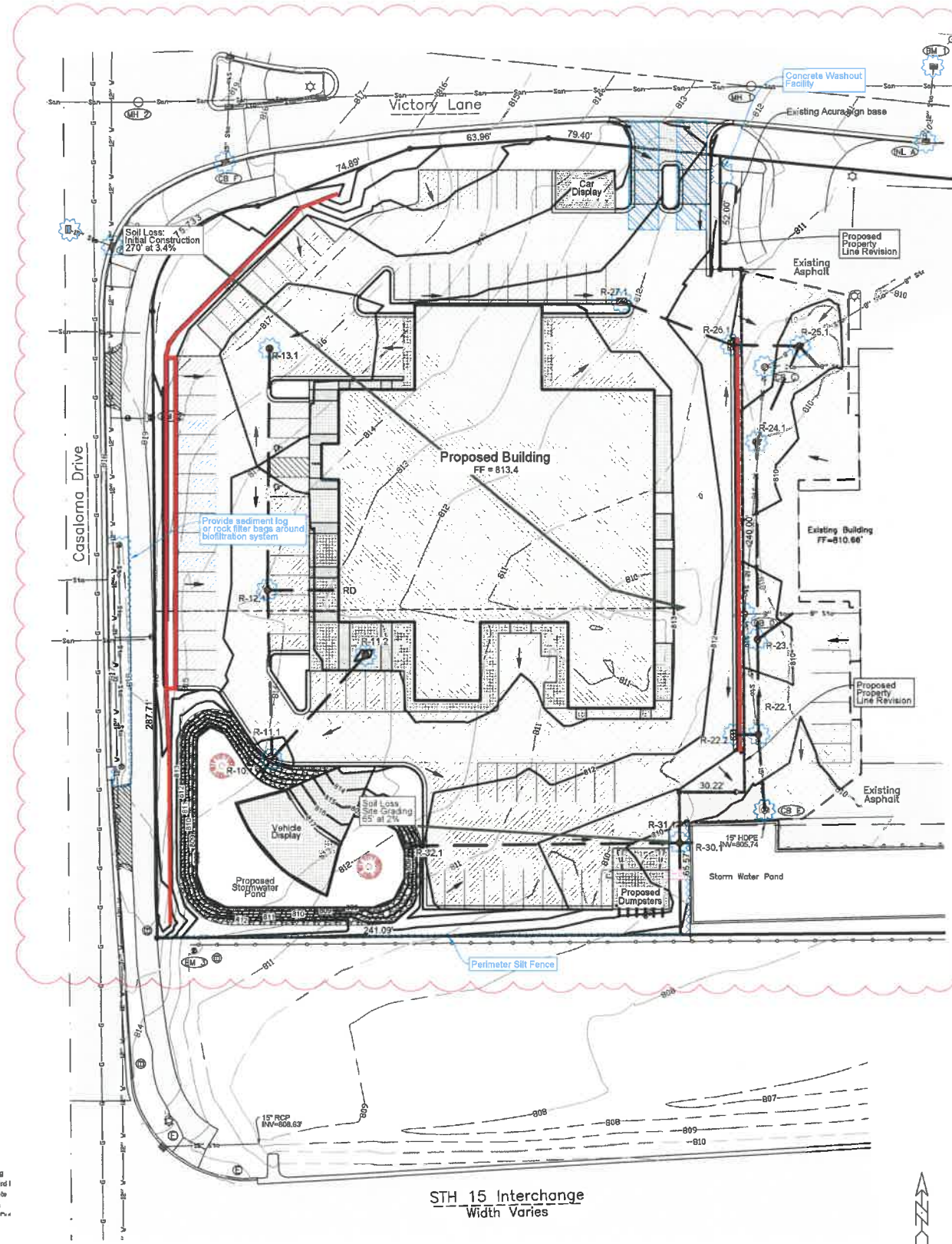
- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetative cover.
2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed.

Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance: To be Determined (TBD)

BMP Inspection and Compliance Enforcement: Town of Grand Chute, Wisconsin Department of Natural Resources



ADD#1

LEGEND

Legend table with symbols for Storm Sewer (Pipe Size), Water Main (Pipe Size), Fence - Steel, Index Contour - Existing, Intermediate Contour - Existing, Asphalt Pavement, Concrete Pavement, Gravel, Sanitary MH / Tank / Base, Clean Out / Catch Stop / Pull Box, Storm Manhole, Inlet, Catch Basin / Yard Drain, Hydrant, Utility Valve, Light Pole / Signal, Telephone Pedestal, Telephone Manhole, Ex Spot Elevation, Proposed Storm Manhole, Proposed Curb Inlet, Prop. Catch Basin / Yard Drain, Proposed Eriwall, Proposed Rip Rap, Proposed Inlet Protection, Type of Inlet Protection, CATV Pedestal, Gas Regulator, Sign, Post / Guard Post, Flag Pole, Deciduous Tree, Coniferous Tree, Benchmark, 1" Iron Pipe Flange, Government Corner, Proposed Building, Proposed Standard I, Proposed Concrete, Proposed Pavers, Proposed Inlet Protection.



Soils: K1B-Kawawee silt loam, 2-6% slopes: These mapping units are generally situated on the summit and backlopes of ground moraines. The parent material consists of loess over clayey till and/or calcareous, dense clayey till. The unit is well drained; depth to water table of more than 80 inches.
McA-Manawa silty clay loam, 0-3% slopes: These mapping units are generally situated on footslopes of drainageways. The parent material consists of clayey till and/or calcareous, dense clayey till. The unit is somewhat poorly drained; water table is about 7-24 inches.
McB-Manistee loamy fine sand, 2-6% slopes: These mapping units are generally situated on the rise of lake plains. The parent material consists of sandy lacustrine deposits over clay lacustrine deposits. The unit is well drained; water table is about 60-80 inches.

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

- 1) Diverting Flow
a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel.
2) Overland Flow
a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite.
b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation.
c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas.
3) Track out Control - Intended to reduce the amount of sediment transported onto public roads or offsite access points.
4) Dust Control - Intended to reduce surface to air transport of dust during construction.
5) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices.
6) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly.
7) Sediment Basin - The proposed and existing ponds may capture construction site sediment.

EROSION & SEDIMENT CONTROL PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC. Civil Engineers and Land Surveyors. 1164 Province Terrace, Menasha, WI 54952. Ph: 920-991-1866 Fax: 920-441-0804 www.davel.pro

Gries Architectural Group Inc. 629 North Commercial Street, Neenah, Wisconsin 54956. Phone: 920-722-2445 Fax: 920-722-4603 www.gries-design.com

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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE: GENESIS OF APPLETON, WISCONSIN

date: 05/24/2022
job:
d. by:
rev.:

C-1.3

PROPOSED STORM SEWER PIPE SUMMARY																
Reach	US DS	US Inv	DS Inv	Length	Slope	Size (in)	Node	Drainage Area	Total Area (SF)	Lawn (SF)	Roof (SF)	Pavement (SF)	Runoff (GPM)	Design Flow (GPM)	Capacity (GPM)	Velocity (ft/s)
R-11.1	R-10.1	808.03	808.00	11	0.0030	15	0.00	E	5,863	138	0	0	5,525	138	1720	3.1
R-11.2	R-11.1	808.41	808.77	64	0.0100	4	0.00	D	781	0	0	0	781	24	93	2.4
R-12.1	R-11.1	808.28	808.03	77	0.0030	15	0.00	C	7,780	108	0	0	7,852	238	1328	3.1
RD	R-12.1	808.61	808.46	30	0.0050	12	0.00	A	20,680	0	20,680	0	795	795	1225	3.3
R-13.1	R-12.1	808.93	808.80	110	0.0030	10	0.00	B	9,915	475	0	0	9,440	295	295	2.4
CB E	Discharge	808.00	805.75	5	0.0500	15	0.00	G	6,556	0	0	0	6,556	202	2223	12.8
R-22.1	CB E	805.87	805.80	35	0.0020	18	0.00	I	0	0	0	0	0	2022	2284	2.9
R-22.2	R-22.1	806.57	806.54	11	0.0030	8	0.00	I	3,068	0	0	0	3,068	94	322	2.9
R-23.1	R-22.1	805.98	805.87	44	0.0020	18	0.00	H & Part N	13,983	0	9,758	0	4,225	505	1827	2.9
R-24.1	R-23.1	806.34	806.16	91	0.0020	15	0.00	M & Part	3,490	0	0	0	3,490	107	1422	2.9
R-25.1	R-24.1	806.43	806.34	48	0.0020	15	0.00	N, Part K	29,277	503	9,757	19,017	985	1315	1405	2.8
R-26.1	R-25.1	806.66	806.77	32	0.0030	10	0.00	J	3,068	0	0	0	3,068	94	349	2.4
R-27.1	R-26.1	807.02	806.86	54	0.0030	10	0.00	L	9,100	1,185	0	0	7,915	255	255	2.4
R-31.1	R-30.1	806.01	806.00	8	0.0020	12	0.00	F	15,188	0	0	0	15,188	467	467	2.2
R-32.1	R-31.1	807.53	806.28	125	0.0100	8	0.00								588	3.8

DS/PS 382.38 (5) Area Method: Peak Flow GPM = Roof Sq Ft / 28 Sq Ft per GPM + Pavement Sq Ft / 32.5 Sq Ft per GPM + Lawn Sq Ft / 104 Sq Ft per GPM  
 \*Restriction / detention area

PROPOSED STORM SEWER STRUCTURE SUMMARY

Structure	Phase	Structure Type	Structure Size	Cover	Rim Elevation	Pipe Invert Elevation	Pipe Depth
R-10.1	1	Endwall				808.00	
R-11.1	1	Curb Inlet	2x3'	R-3067	811.75	808.03	3.72
R-11.2	1	Nyloplast	8"	DI Grate	812.95	808.41	3.54
R-12.1	1	Inlet	36" ID	R-2540	812.05	808.28	3.79
RD	1	Storm to Internal Roof Drain				808.81	
R-13.1	1	Inlet	36" ID	R-2540	812.05	808.83	3.12
R-22.1	1	MH (48)	48" ID	R-2540	810.77	805.87	4.90
R-22.2	1	Inlet	36" ID	R-3067-L	811.05	806.57	4.48
R-23.1	1	MH (48)	48" ID	R-2540	809.50	805.98	3.54
R-24.1	1	Inlet	36" ID	R-2540	809.50	806.34	3.16
R-25.1	1	Inlet	36" ID	R-2540	809.55	806.43	3.12
R-26.1	1	Inlet	36" ID	R-3067-L	810.89	806.86	4.13
R-27.1	1	Curb Inlet	2x3'	R-3067	812.50	807.02	5.48
R-30.1	1	Flush/Grout Into Existing Wall				806.00	
R-31.1	1	Inlet	36" ID	R-2540	809.50	806.28	3.22
R-32.1	1	Pond Outlet		Refer to Pond Outlet Detail			

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Grand Chute.

Reconstruct Victory Lane for sanitary and water installations per Town of Grand Chute specifications with special backfill.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

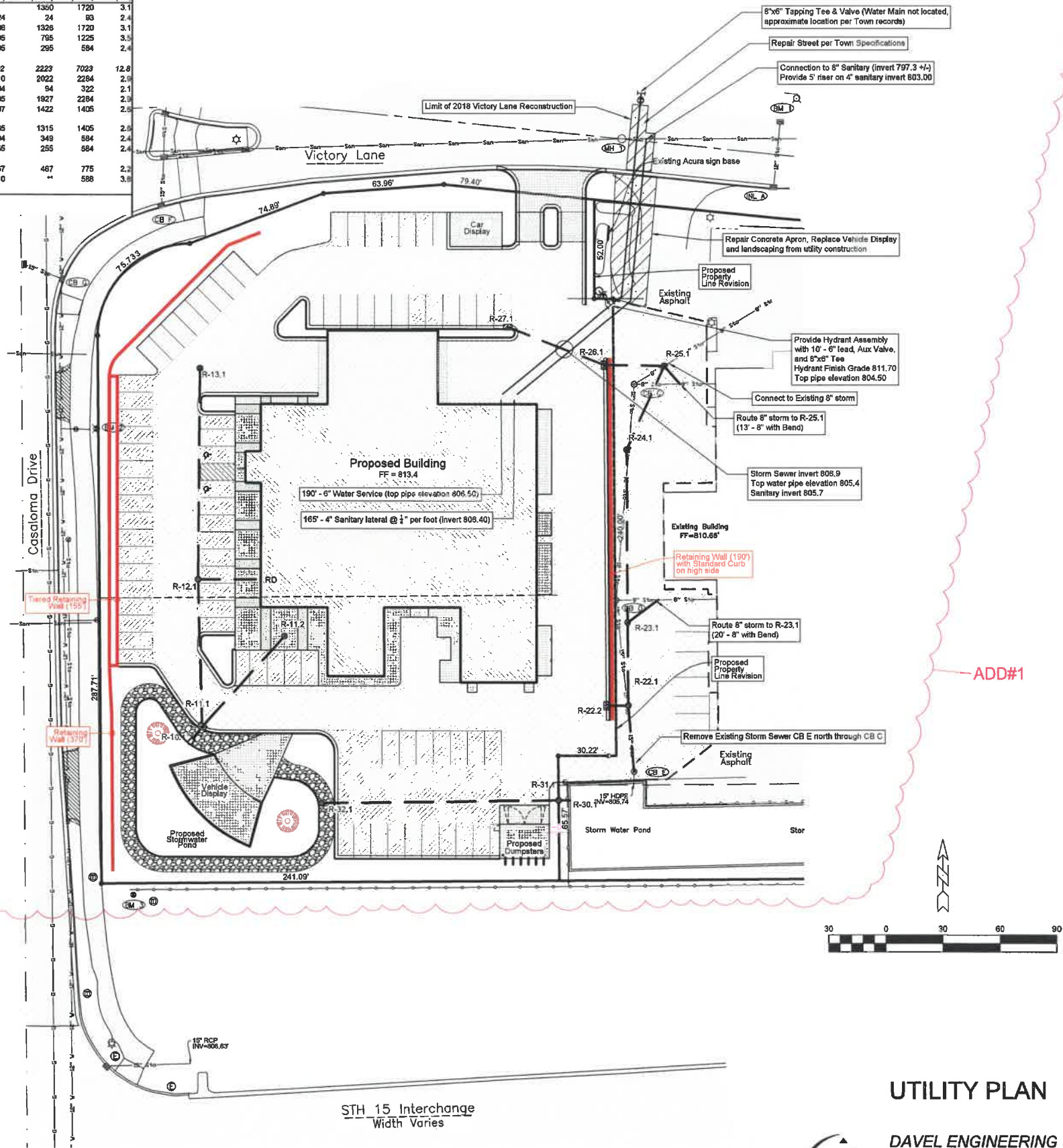
Sanitary Sewer Pipe shall be PVC SDR(40), with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 284, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.38 (7)(d)10.s. Install under drains to all storm sewer inlets within a pavement section.

Utility easements (not shown on this plan) are per proposed certified survey map with the lot line relocation.

LEGEND

- Storm Sewer (Pipe Size)
- Water Main (Pipe Size)
- Fence - Steel
- Index Contour - Existing
- Intermediate Contour - Existing
- Asphalt Pavement
- Concrete Pavement
- Gravel
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Curb
- Proposed Swale
- Proposed Culvert
- Proposed Building
- Proposed Standard I
- Proposed Concrete
- Proposed Pavement
- Proposed Manhole
- Proposed Sanitary Manhole
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Hydrant
- Proposed Valve
- Proposed Curb Stop
- Proposed Cleanout
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Hydrant
- Utility Valve
- Light Pole / Signal
- Telephone Pedestal
- Telephone Manhole
- Ex Spot Elevation
- CATV Pedestal
- Gas Regulator
- Sign
- Post / Guard Post
- Flag Pole
- Deciduous Tree
- Coniferous Tree
- Benchmark
- 1" Iron Pipe Found
- Government Corner
- Proposed Reducer
- Proposed Plug
- Proposed Water MH
- Proposed Tee
- Proposed Cross
- Proposed 90° Bend
- Proposed 45° Bend
- Proposed 22.5° Bend



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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
 GENESIS OF APPLETON,  
 APPLETON, WISCONSIN

UTILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.  
 Civil Engineers and Land Surveyors  
 1164 Province Terrace, Menasha, WI 54952  
 Ph: 920-891-1868 Fax: 920-441-0804  
 www.davel.pro

date: 05/24/2022  
 job:  
 d. by:  
 rev.:

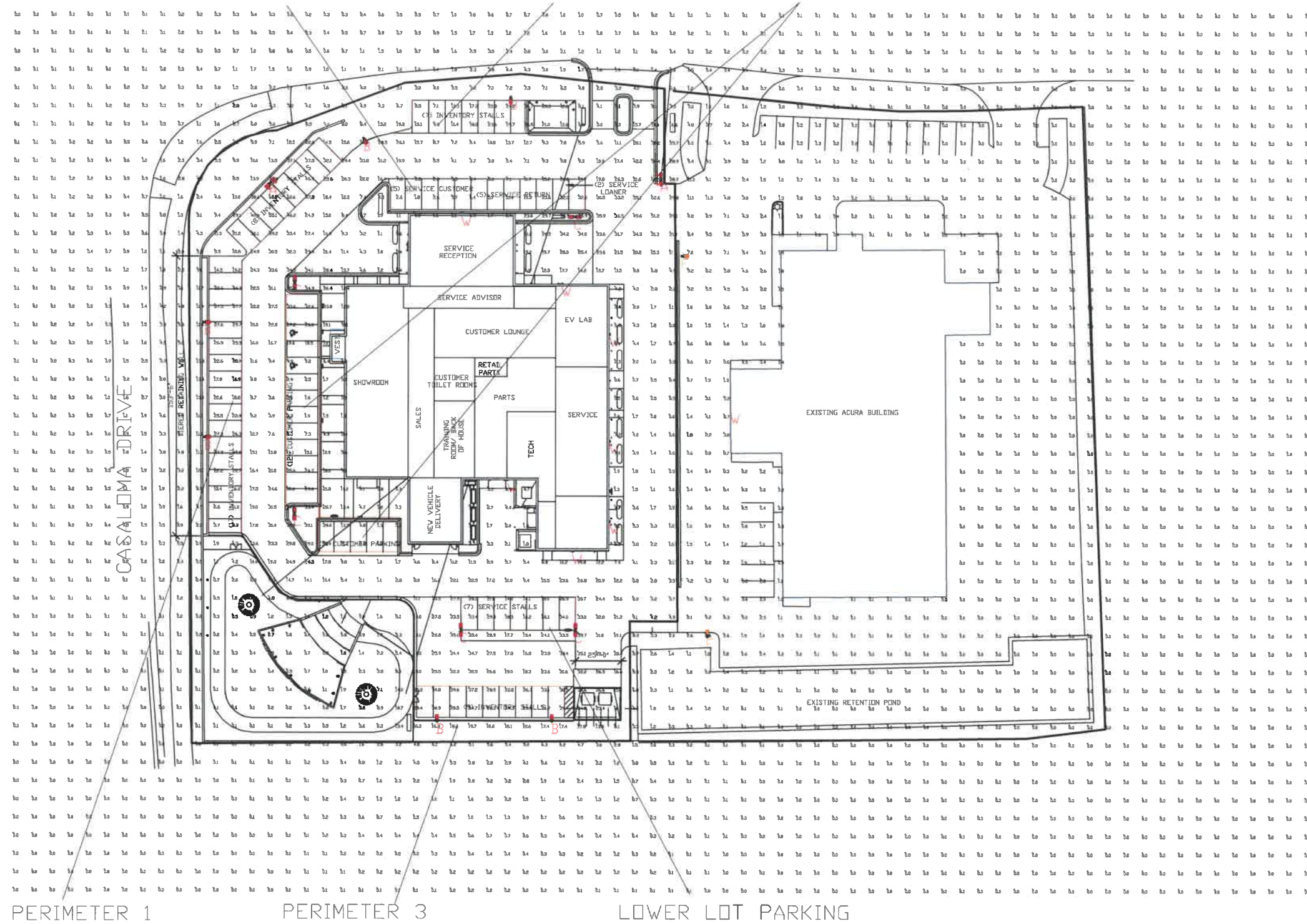
C-1.4



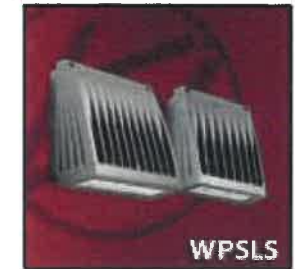
SERVICE PKG

PERIMETER 2

CUSTOMER PKG



MRL



WPSLS

NEW FIXTURE TYPES



XGBM

EXISTING FIXTURE TYPES

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @4' ABOVE GRADE	Illuminance	Fc	3.56	62.6	0.0	N.A.	N.A.
CUSTOMER PKG	Illuminance	Fc	14.78	34.4	0.3	49.27	114.67
LOWER LOT PARKING	Illuminance	Fc	26.23	34.0	16.2	1.62	2.10
PERIMETER 1	Illuminance	Fc	27.82	60.6	3.7	7.52	16.38
PERIMETER 2	Illuminance	Fc	17.66	29.7	7.1	2.49	4.18
PERIMETER 3	Illuminance	Fc	33.06	39.6	22.8	1.45	1.74
SERVICE PKG	Illuminance	Fc	12.92	32.0	1.8	7.18	17.78

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	2	A	D180° 2RTD	MRL-LED-50L-SIL-(1)FTA-L(1)FTA-R-50-70CRI-UNV-DIM	1.000	1.000	1.000	108844	750
	6	B	SINGLE	MRL-LED-50L-SIL-FTA-50-70CRI-UNV-DIM-ALSC-BLK-SING	1.000	1.000	1.000	54422	375
	5	C	D180°	MRL-LED-50L-SIL-AM-50-70CRI-UNV-DIM-ALSC-BLK-D180-	1.000	1.000	1.000	109244	750
	2	E	SINGLE	XGBM-FT-LED-HQ-CW-UNV-DIM-BLK-SINGLE-24' MH EXIST1	1.000	1.000	0.600	29070	300.8
	8	W	SINGLE	WPSLS-04L-50-UNV-DIM-15' MH	1.000	1.000	1.000	4394	37.05

PHOTOMETRIC EVALUATION NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 8397.998

BERGSTROM GEESTIS OF APPLETON  
LIGHTING PROPOSAL LD-155800-2  
VICTORY LAND  
APPLETON, WI  
SCALE: 1"=30'

KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY
AGM-1	<b>METAL PANEL (AGM):</b> MANUFACTURER: ALUCOBOND MATERIAL: COMPLETE RAIN SCREEN AGM SYSTEM COLOR: BASALT GREY PVDF-2, MATTE LOCATION: FACADE, REFER TO EXTERIOR ELEVATIONS	CP-4	<b>MTL WALL COPING (PRE-FINISHED):</b> MFR: UNI-CLAD, PAC-CLAD OR EQUAL STYLE: PRE-FINISHED MTL. COPING SYSTEM FINISH/COLOR: FINISH & COLOR TO MATCH ADJACENT WALL COLOR LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS	GL-1	<b>ALUMINUM FRAMED SKYLIGHT SYSTEM:</b> MFR: LOCAL SUPPLIER GLAZING: 1" INSULATED, PPG, SOLARBAN 10, CLEAR FINISH/COLOR: CLEAR ANODIZED, CLASS 1	CONC-1	<b>CONCRETE:</b> COLOR: PAINT SHERWIN WILLIAMS CYBERSPACE NOTE: HAND-APPLIED SMOOTH FINISH LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS	BES-1	<b>BUILDING EXTERIOR SIGNAGE (BY OWNER):</b> MANUFACTURER: GENESIS SIGN VENDOR (ASU) STYLE/TYPE: GENESIS SYMBOL POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS, COORDINATE W/ OWNER AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL PANEL COLOR). INSTALL ACCESS PANELS AT LOCATIONS WHERE NEEDED, REFER TO PLANS. DEALER NOTE: EXTERIOR SIGNAGE IS PURCHASED BY DEALER & INSTALLED BY SIGN MFR. VENDOR.
AGM-2	<b>METAL PANEL (AGM):</b> MANUFACTURER: ALUCOBOND MATERIAL: COMPLETE RAIN SCREEN AGM SYSTEM COLOR: TRICORN BLACK SMP, MATTE LOCATION: FACADE, REFER TO EXTERIOR ELEVATIONS	D-1	<b>ALUMINUM ENTRANCE IV INSUL. GLAZING:</b> MANUFACTURER: KAWNEER 350 OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS (MED. STYLE) GLAZING: 1" INSULATED, TEMPERED, PPG, SOLARBAN 10, CLEAR COLOR: BLACK LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	CONC-2	<b>CONCRETE:</b> COLOR: PAINT SHERWIN WILLIAMS CYBERSPACE NOTE: CONCRETE FINISH SHOULD BE SIMILAR TO A PRECAST GRADE A FINISH. REPAIR SURFACE BLEMISHES, FILL AIR HOLES AND FORM MARKS. GRIND SMOOTH ALL FORM JOINTS, FLOAT APPLY A NEAT CEMENT-PASTE COATING. PAINT, REVEAL JOINTS TO MATCH ADJACENT AGM JOINTS. LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS	BES-2	<b>BUILDING EXTERIOR SIGNAGE (BY OWNER):</b> MANUFACTURER: GENESIS SIGN VENDOR (ASU) STYLE/TYPE: DEALER NAME SIGNAGE POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS, COORDINATE W/ OWNER AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL PANEL COLOR). INSTALL ACCESS PANELS AT LOCATIONS WHERE NEEDED, REFER TO PLANS. DEALER NOTE: EXTERIOR SIGNAGE IS PURCHASED BY DEALER & INSTALLED BY SIGN MFR. VENDOR.		
AGM-3	<b>METAL PANEL (AGM):</b> MANUFACTURER: ALUCOBOND MATERIAL: COMPLETE RAIN SCREEN AGM SYSTEM COLOR: TBD, MATTE LOCATION: FACADE, REFER TO EXTERIOR ELEVATIONS	D-2	<b>HOLLOW METAL DOOR INSUL. IV GLAZING AS NOTED/SHOWN:</b> STYLE: HOLLOW METAL, PAINT P-3, REFER TO DOOR SCHEDULE & ELEVATIONS LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	SP-1	<b>ALUMINUM STOREFRONT SYSTEM:</b> MFR: KAWNEER TRUFAB 601T (BASED ON DESIGN) STYLE: 27x6" STOREFRONT FRAMING GLAZING: 1" INSULATED, PPG, SOLARBAN 10, CLEAR FINISH/COLOR: BLACK ANODIZED, CLASS 1 LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS	BES-3	<b>BUILDING EXTERIOR SIGNAGE (BY OWNER):</b> MANUFACTURER: GENESIS SIGN VENDOR (ASU) STYLE/TYPE: SERVICE SIGNAGE POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS, COORDINATE W/ OWNER AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL PANEL COLOR). INSTALL ACCESS PANELS AT LOCATIONS WHERE NEEDED, REFER TO PLANS. DEALER NOTE: EXTERIOR SIGNAGE IS PURCHASED BY DEALER & INSTALLED BY SIGN MFR. VENDOR.		
CP-1	<b>AGM COPING SYSTEM (WALL COPING):</b> MFR: ALUCOBOND COLOR: BASALT GREY PVDF-2, MATTE SYSTEM/TYPE: DRY JOINT SYSTEM (RAIN-SCREEN) LOCATION: EXTERIOR WALLS - COPINGS WHERE AGM-1 IS LOCATED - REFER TO PLANS AND ELEVATIONS	D-3	<b>OVERHEAD DOOR INSUL. ALUM. IV GLAZING:</b> MANUFACTURER: G.H.I. OVERHEAD DOORS 32x6 STYLE: ALUMINUM FULL-VIEW IV INSUL. GLAZING GLAZING: INSULATED, TEMPERED, PPG, SOLARBAN 10, CLEAR, 35% TINT FINISH/COLOR: BLACK ANODIZED LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	MP-1	<b>WALL PACK LIGHT FEATURE:</b> REFER TO REFLECTED CEILING PLAN. COLOR: BLACK	BES-4	<b>BUILDING EXTERIOR SIGNAGE (BY CONTRACTOR):</b> MANUFACTURER: SIGNAL TECHNOLOGIES STYLE/TYPE: 10"x10" DIRECTIONAL LED LANE LIGHTS - X/DOWN ARROW POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING. DEALER NOTE: THESE SIGNS ARE TO BE PROVIDED AND INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE REQUIRED POWER AND BLOCKING		
CP-2	<b>AGM COPING SYSTEM (WALL COPING):</b> MFR: ALUCOBOND COLOR: TRICORN BLACK SMP, MATTE SYSTEM/TYPE: DRY JOINT SYSTEM (RAIN-SCREEN) LOCATION: EXTERIOR WALLS - COPINGS WHERE AGM-2 IS LOCATED - REFER TO PLANS AND ELEVATIONS	D-4	<b>OVERHEAD DOOR INSUL. - PRE-FINISHED:</b> MANUFACTURER: OVERHEAD DOOR COMPANY OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS COLOR: BLACK LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	EPF-1	<b>EPF (EXTERIOR INSULATION FINISH SYSTEM) - ALTERNATE #1:</b> SUPPLIER: DRYVIT SYSTEMS, INC. COLOR: SHERWIN WILLIAMS SYNTHETIC CYBERSPACE SYSTEM/TYPE: OUTSULATION PLUS HD, EPF FINISH: SANDBLAST LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS				
CP-3	<b>AGM COPING SYSTEM (WALL COPING):</b> MFR: ALUCOBOND COLOR: TBD, MATTE SYSTEM/TYPE: DRY JOINT SYSTEM (RAIN-SCREEN) LOCATION: EXTERIOR WALLS - COPINGS WHERE AGM-2 IS LOCATED - REFER TO PLANS AND ELEVATIONS								

**CONTROL JOINT NOTE:**  
PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY MASONRY CONTRACTOR AND BLOCK SUPPLIER. CONTROL JOINTS NOT TO EXCEED 30'-0" MAX AND 20'-0" MIN.  
ALL CONTROL JOINT LAYOUTS TO BE REVIEWED BY ARCHITECT/ENGINEER AT THE TIME OF CONSTRUCTION/SHOP DRAWINGS SUBMITTAL.  
ALL ELEVATIONS AND LAYOUT ARE BASED ON STANDARD MODULAR BLOCK SIZES. CONTRACTOR RESPONSIBLE FOR ANY ADJUSTMENTS IN SIZES REQUIRED IF THEY CHANGE MATERIAL SIZES.

**NOTE:**  
MASONRY PRICE TO INCLUDE DRY-BLOCK IV INTEGRAL WATER REPELLENT - RHEOPEL XP.

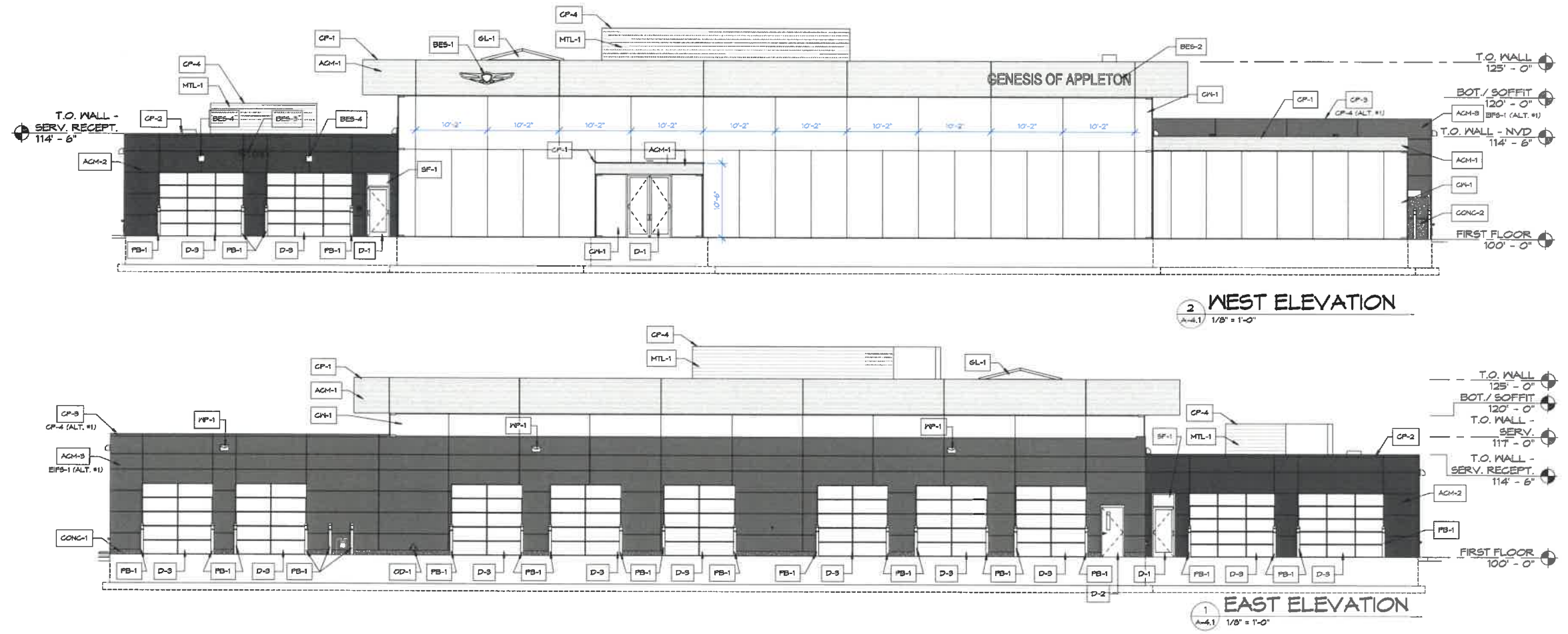
**CURTAINWALL/STOREFRONT NOTE:**  
PROVIDE PREFINISHED ALUMINUM SLIP HEAD TO MATCH ALUMINUM STOREFRONT/ CURTAIN WALL SYSTEM.  
PROVIDE PREFINISHED EXTRUDED ALUMINUM-THERMALLY BROKEN SILL FLASHING WITH END DAMS. INSTALL WITH A POSITIVE SLOPE AWAY FROM INTERIOR AND SET IN SEALANT PER MANUFACTURER'S WRITTEN SPECIFICATIONS.  
PROVIDE ALL SILLS, SEALANT & BACKER ROD PER MANUFACTURER'S SPECIFICATIONS.

**BREATHING FASTENER NOTE:**  
FASTEN ALL WOOD-BASED PANELS TO GOLF-FORM FRAMING IV SELF-TAPPING CORROSION RESISTANT SCREWS. PNEUMATICALLY DRIVEN PMS FOR WOOD-BASED PANEL ATTACHMENT WILL NOT BE ACCEPTED.



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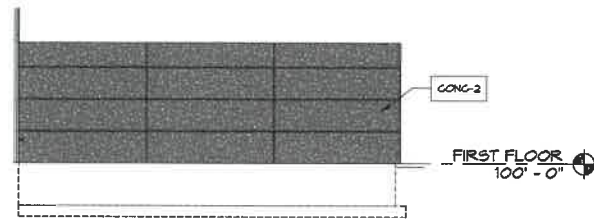
A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
**GENESIS OF APPLETON**  
APPLETON, WISCONSIN



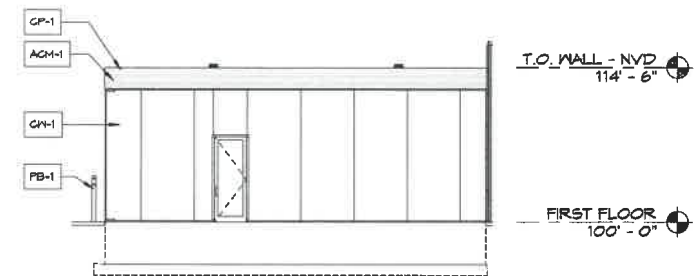
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job: 21-085  
d. by: KJP  
REV.: ADD#1: 09-24-2022

**A-4.1**

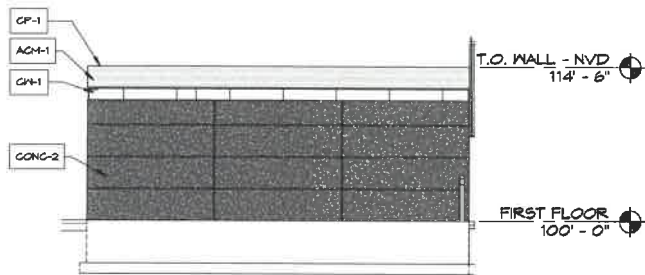
REFER TO SHEET A-4.1 FOR GENERAL NOTES AND EXTERIOR FINISH KEYNOTES.



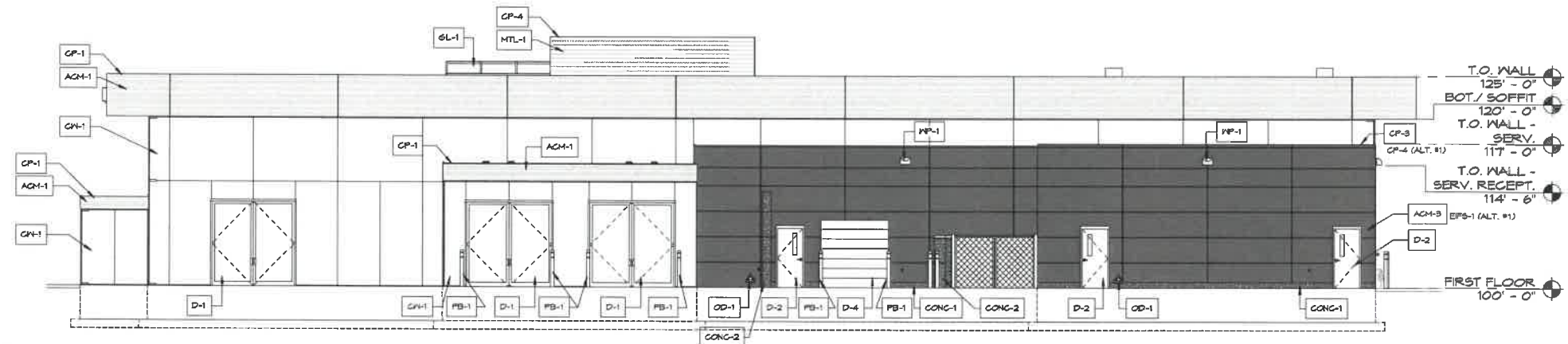
6 WEST ELEV. - NVD  
A-4.2 1/8" = 1'-0"



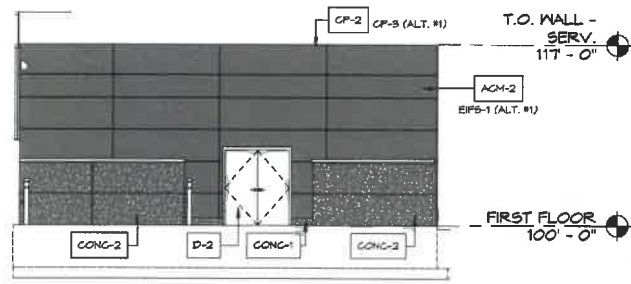
5 EAST ELEV. - NVD  
A-4.2 1/8" = 1'-0"



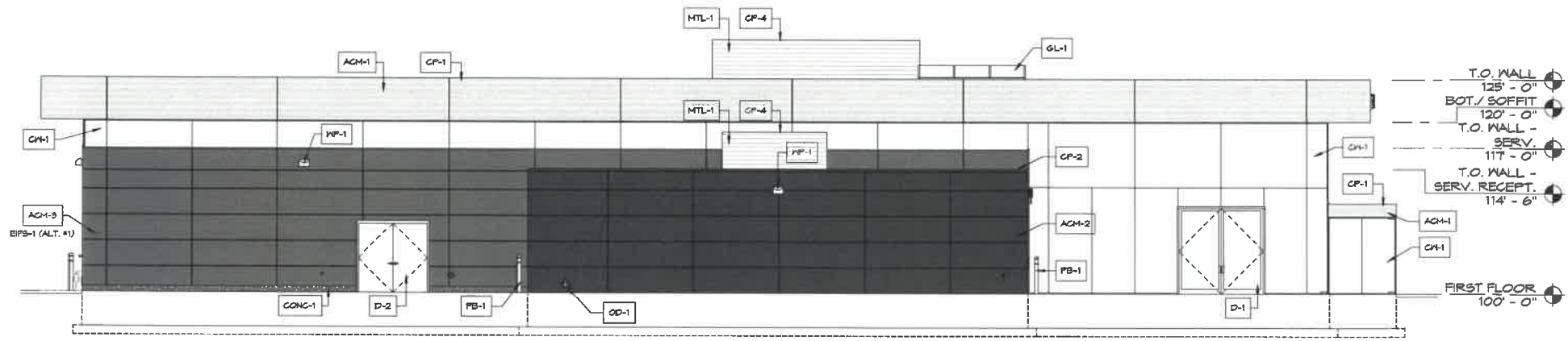
4 PARTIAL EAST ELEV.  
A-4.2 1/8" = 1'-0"



3 SOUTH ELEVATION  
A-4.2 1/8" = 1'-0"



2 PARTIAL WEST ELEV.  
A-4.2 1/8" = 1'-0"



1 NORTH ELEVATION  
A-4.2 1/8" = 1'-0"

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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:  
**GENESIS OF APPLETON**  
APPLETON, WISCONSIN

date: 05-18-2022  
job: 21-085  
d. by: KJP  
REV.: ADD#1: 05-24-2022



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A NEW BUILDING FOR BERGSTROM AUTOMOTIVE:

GENESIS OF APPLETON  
APPLETON, WISCONSIN

date: 05-16-2022

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d. by: KJP

rev.:

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A-4.3